



DuPont Old Fort Lake Subarea Plan Community Design

Planning Commission – August 28, 2023



An aerial photograph of a golf course and a lake, with a green overlay on the left side. The text "OLD FORT LAKE SUBAREA Design Standards" is overlaid in white.

OLD FORT LAKE SUBAREA Design Standards

What We're Drawing From



ENGAGEMENT SUMMARY

TO: Barb Kincaid, City of DuPont
Lisa Klein, AHB
FROM: Bob Bangford
[Select Location]
SUBJECT: Dupont Old Fort Lake Subarea - Engagement Summary from Visioning Phase - Revision

DATE: July 7, 2023
PROJECT NO.: PLNG2023-005
PROJECT NAME: Old Fort Lake Subarea Plan

Public engagement during the early visioning phase of the Old Fort Lake Subarea planning process included public meetings and an online survey to gather feedback and visioning ideas. Meetings were held in the City Council chambers at the DuPont City Hall (1700 Civic Dr.) A few people attended online via

- Workshop 1 - Early Visioning and Preferences - Monday April 3, 2023, 6:30 - 8:30 pm
25 attendees in person, 9 - 11 virtual. Fifteen attendees participated in the online survey that
- 19 people responded to an online survey of the Workshop 1 questions that was published in e
- Workshop 2 - Early Land Use Concepts - Monday May 2, 2023, 6:30 - 8:30 pm
28 attendees in-person, 8 - 10 virtual.

Overall Engagement Feedback

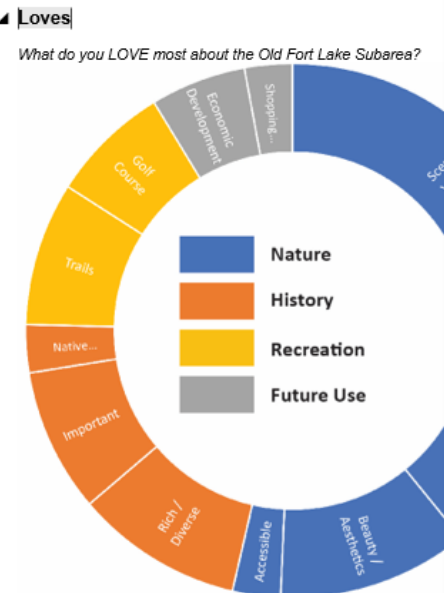
- There is support for more residential uses in the subarea, but there were differing opinions expressed about the preferred height and density levels, with some wanting to see very low-density single low-scale multifamily development while others were more open to apartments and higher-density forms to accommodate housing needs.
- Strong support for preserving views and some open spaces and supporting the site's existing systems.

Workshop 1

The format of the meeting was a series of short exercises to gather feedback from attendees, both in person and online.

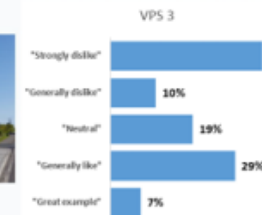
"Loves, Hopes, Concerns" Survey Results

The color wheel below illustrates the responses to the live-poll survey. The size of the words in the wheel reflect the frequency of the responses. The size/extent of the words shown in the wheel reflect those included in the collective response. For example, there were more words related to "Loves" than "Concerns".

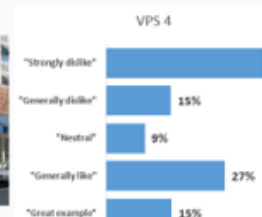


VPS

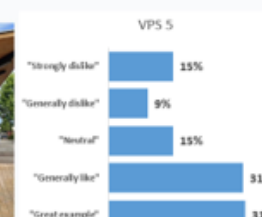
Is VPS 3 appropriate for Old Fort Lake Subarea?



Is VPS 4 appropriate for Old Fort Lake Subarea?



Is VPS 5 appropriate for Old Fort Lake Subarea?



Map Exercise Feedback:



1. Building on current Dupont community design theme – with strategic adjustments and modernizations.

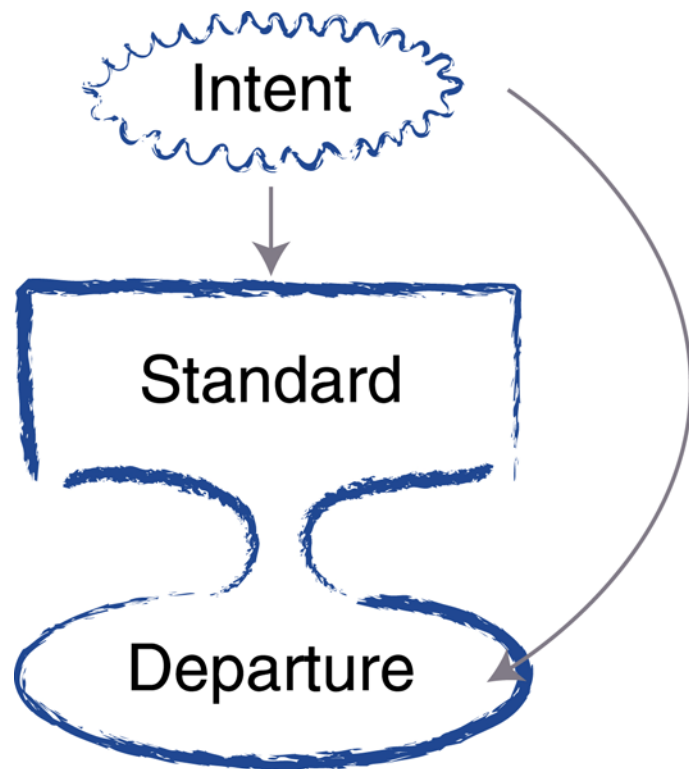
Visual Preference Survey Feedback

Key Takeaways

- Preference for designs with pedestrian-orientation (large windows, storefronts, street activation, landscape, etc.)
- Preferred architectural styles that were similar to existing developments in DuPont
- Preferred pitched or varied rooflines
- Generally preferred lower heights and smaller scaled buildings, but liked some larger buildings if they included some or all the design elements noted above

Approach & Objectives

2. Creating clear and predictable minimum standards, while integrating opportunities for flexibility.



Example

- (2) **Façade articulation – nonresidential.** Nonresidential buildings and nonresidential portions of mixed-use buildings shall include articulation features to create a human-scaled pattern. For building façades and other building elevations facing parks, containing primary building entrances, and adjacent to lower intensity zones, at least three articulation features shall be employed at intervals no greater than 40 feet.

For all other multi-story non-residential building elevations, at least three articulation features shall be employed at intervals no greater than 60 feet.

Articulation features include:

- (a) Window patterns and/or entries.
- (b) Use of weather protection features.
- (c) Use of vertical piers/columns.
- (d) Change in roofline per subsection (6) of this section.
- (e) Change in building material or siding style.
- (f) Other design techniques that effectively reinforce a pattern of small storefronts compatible with the building's surrounding context.

DEPARTURE: Other articulation features may be used provided they meet the purpose of the standards and the design criteria set forth in subsection (4) of this section.

Chapter 25.65 MULTIFAMILY DESIGN REGULATIONS AND GUIDELINES

Sections:

- [25.65.010 Administration.](#)
- [25.65.020 Articulation and overall massing/bulk of buildings.](#)
- [25.65.030 Pitched roof forms.](#)
- [25.65.040 Entrance and front porch.](#)
- [25.65.050 Window and door.](#)
- [25.65.060 Color.](#)
- [25.65.070 Building design variety.](#)
- [25.65.080 Spaces between buildings and adjacent streets.](#)

25.65.010 Administration.

(1) Design Review Required. All applications for multifamily site plan permits in the residential, commercial and mixed use land designations or districts are subject to the regulations and guidelines in this chapter.

(2) Application. An application for a design review subject to this chapter shall be submitted to the city for processing together with an application for site plan review or conditional use permit. Design review shall be processed with a Type I procedure as set forth in DMC [25.175.010](#) with a filing fee per DMC [2.03.010](#). A complete application shall consist of:

- (a) Building elevations at a minimum scale of one inch equals eight feet including exterior building materials and color;
- (b) Site plan at a minimum scale of one inch equals 20 feet;
- (c) Conceptual landscape plan at a minimum scale of one inch equals 20 feet;
- (d) No drawing shall be larger than 24 inches by 36 inches in size;
- (e) All elements of a development project permit application, DMC [25.175.020](#), except subsections (1) and (2).

Chapter 25.70 COMMERCIAL AND MIXED USE DESIGN REGULATIONS AND GUIDELINES

Sections:

- [25.70.010 Administration.](#)
- [25.70.020 Site design.](#)
- [25.70.030 Parking areas.](#)
- [25.70.040 Streets.](#)
- [25.70.050 Public plaza guidelines.](#)
- [25.70.060 Public areas and landscaping.](#)
- [25.70.070 Architectural building character.](#)

25.70.010 Administration.

(1) Design Review Required. All applications for site plan and conditional use permits in the commercial and mixed use land designations or districts are subject to the regulations and guidelines in this chapter. Additionally, all applications for site plans involving retail trade, service businesses, offices and mini-storage in the community business districts are subject to the regulations and guidelines in this chapter.

(2) Application. An application for a design review subject to this chapter shall be submitted to the city for processing together with an application for site plan review or conditional use permit. Design review shall be processed with a Type I procedure as set forth in DMC [25.175.010](#) with a filing fee per DMC [2.03.010](#). A complete application shall consist of:

- (a) Building elevations at a minimum scale of one inch equals eight feet including exterior building materials and color;
- (b) Site plan at a minimum scale of one inch equals 20 feet;
- (c) Conceptual landscape plan at a minimum scale of one inch equals 20 feet;
- (d) No drawing shall be larger than 24 inches by 36 inches in size. (Ord. 18-1031 § 2 (Exh. 6); Ord. 05-790 § 2; Ord. 02-707 § 1)

25.70.020 Site design.

(1) Design Intent.



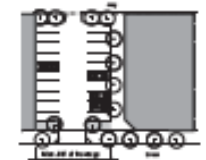
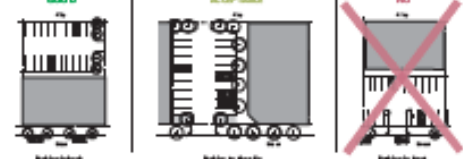
- (a) Present and promote attractive, unified, and viable commercial businesses.
- (b) Promote pedestrian activity, safety and security while still providing adequate auto and truck access.
- (c) Develop a network of on-site streets, or modified grid, that contributes to traditional neighborhood design, the principles of which are outlined in the comprehensive plan.
- (d) Allow the establishment of a flexible site plan that is adaptable to market conditions and capable of being phased.

Do you agree with this policy guidance? Why or why not?

Block Frontages

Create a framework of block frontages/standards:

- Storefronts
- Landscaped/ Residential
- Mixed/ Secondary
- Other

	Storefront	Marine	Mixed + Esplanade	Landscaped	Other
Permitted Frontages		← Storefront OR Landscaped frontages are permitted. →	← Storefront OR Landscaped frontages are permitted. →		← Storefront OR Landscaped frontages
Parking Location	No new ground level parking along street frontage is permitted. 	Same standards as Mixed and Landscaped frontages. → However, marina parking, boat docking facilities, and ship and boat building/ repair uses are exempt from parking location standards.	 For multi-building developments, no more than 50% of frontage shall be parking or vehicular access areas.		No parking location restrictions.
Other Key Provisions	<ul style="list-style-type: none"> • Minimum commercial space depth = 20 feet (new buildings only) • No ground floor residential uses except lobbies/ entrances for upper level units 	Same standards as Mixed and Landscaped frontages. →	<ul style="list-style-type: none"> • Landscaping to soften façades, screen blank wall surfaces, and screen parking • Provide minimum façade windows/transparency for non-residential uses (variable depending on building setback) • Provide minimum facade windows/transparency for residential buildings (at least 15% of the entire façade) 	<ul style="list-style-type: none"> • Landscaping to soften façades, screen blank wall surfaces, and screen parking • Provide minimum façade windows/transparency for non-residential uses (variable depending on building setback) • Provide minimum facade windows/transparency for residential buildings (at least 15% of the entire façade) 	

Example

Block Frontages

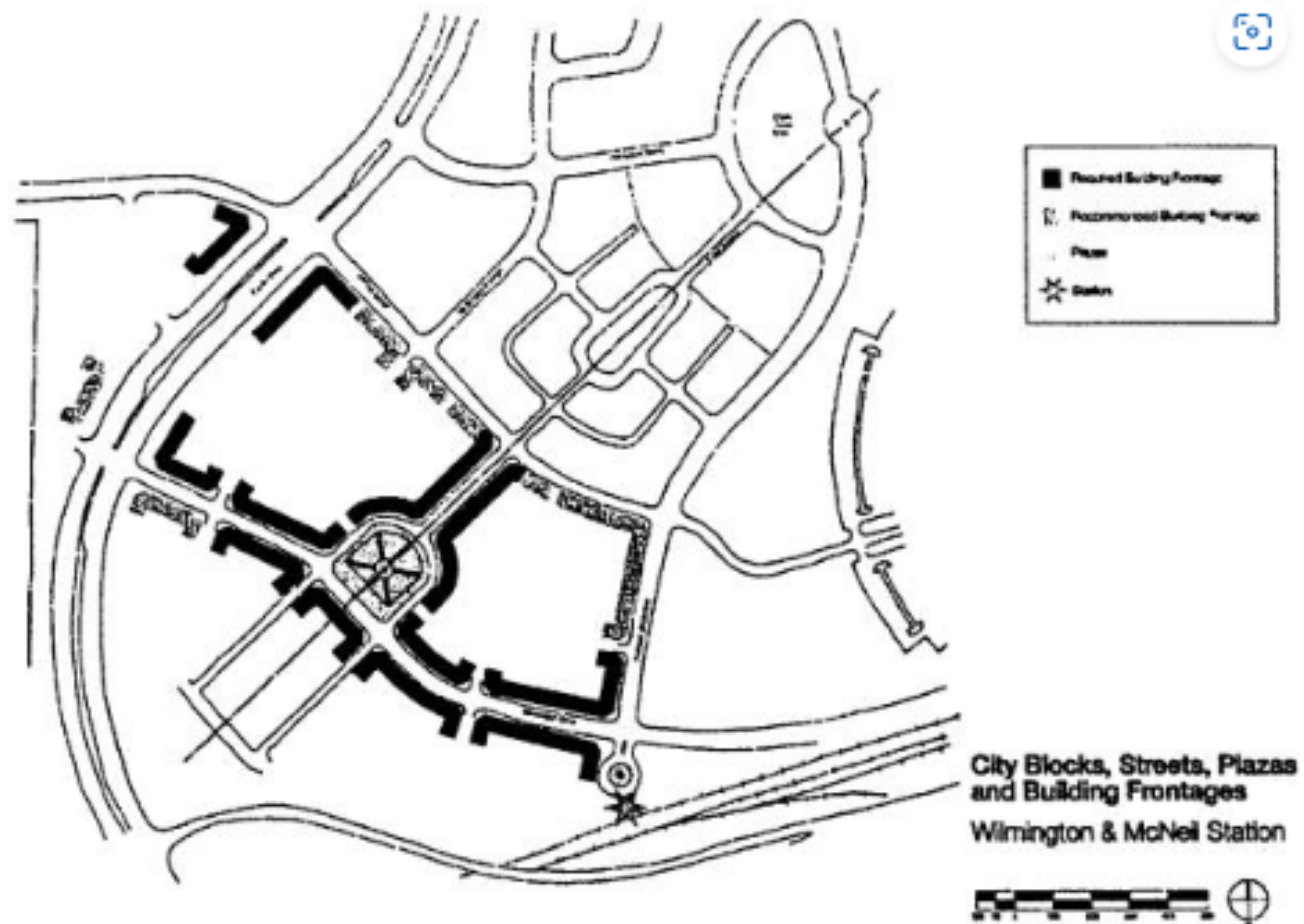


Figure 1: Building Frontages

Why?

The best available tool to create desired built form:

- It recognizes not all streets are the same
- Standards can be tailored for desired building/streetscape form
- The approach is adaptable to changing conditions
- The approach has been successful elsewhere

Block Frontages – OFL Detailed Policy Considerations

Mixed-use areas should integrate a system of block frontage standards to provide a structure of built form of future development.

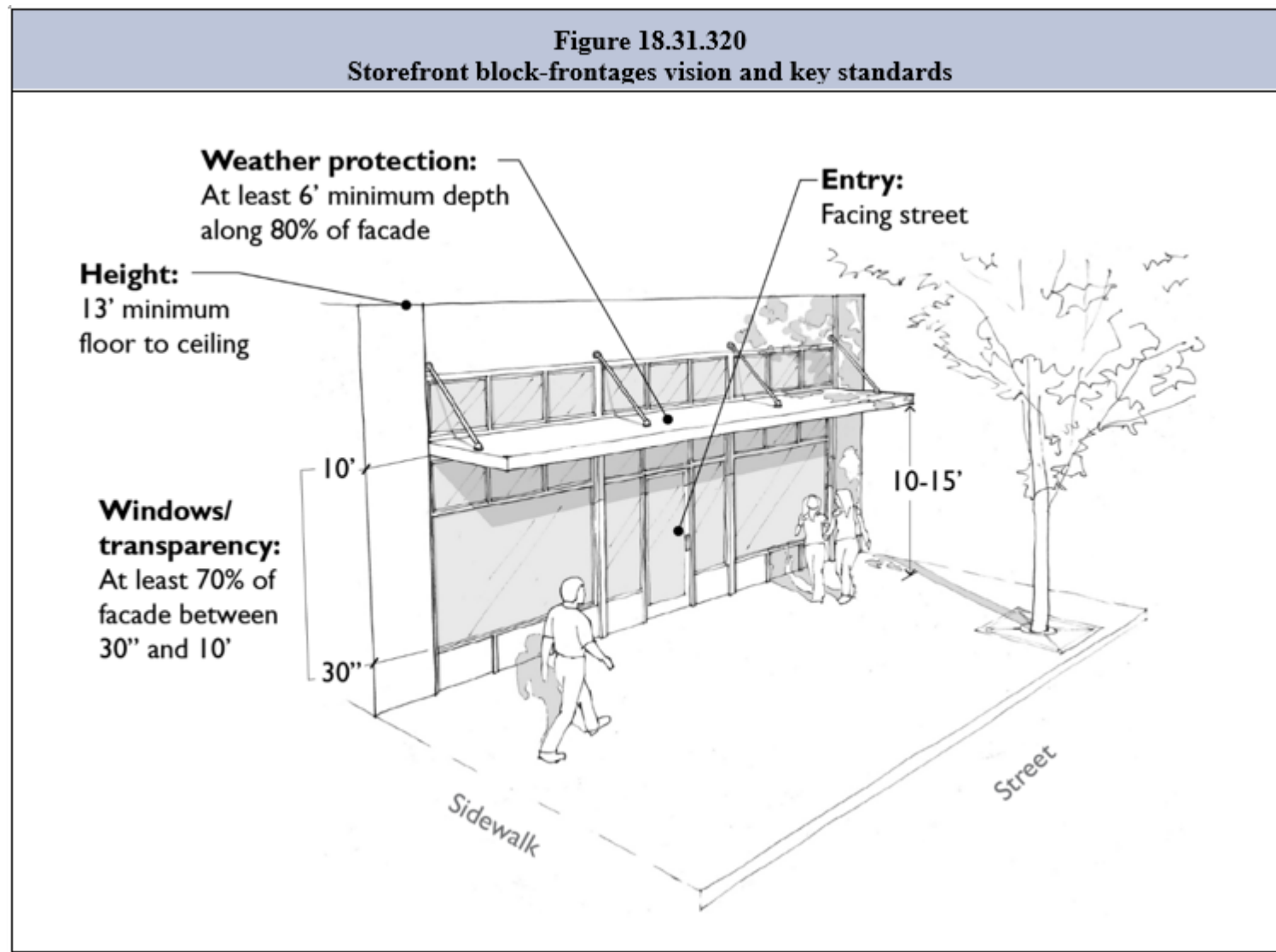
This includes:

- Storefronts - for at least one of the mixed-use areas, one block, a portion of a block, or areas around an intersection where Storefronts are required.



Example

Example



Block Frontages – OFL Detailed Policy Considerations

Other block frontages

- Mixed/Secondary Pedestrian Streets – where either a storefront or modest landscaped setback frontage may be applied, but where off-street parking should largely be avoided adjacent to the street.
- Flexible Streets – side streets and other streets where there should be flexibility as to where off-street parking may be located.
- Residential block frontages – standards to create attractive and functional frontages for residential development – that balance creating safe and attractive streetscapes, while accommodating need to ground level residential privacy.



Example

High Visibility Street Corners

Goal: Accentuate highly visible street corners to enhance the character and identity of OFL and its mixed-use villages

Where: All street corners in MU zones – along loop arterial road

What: Integrate at least one design feature from list of examples:

- A. Corner plaza.
- B. Cropped building corner with a special entry feature.
- C. Decorative use of building materials at the corner.
- D. Distinctive façade articulation.
- E. Sculptural architectural element.
- F. Other decorative elements that meet the purpose of the standards.



Example

Do you agree with this policy guidance? Why or why not?

An aerial photograph of a golf course and a lake. The golf course features several green fairways, sand traps, and a clubhouse area. A large lake is visible in the lower-left corner. The image is overlaid with a semi-transparent green filter. On the left side, there are three vertical bars of increasing green intensity. The text "OLD FORT LAKE SUBAREA" is written in large, bold, white capital letters, and "Site Design" is written below it in a slightly smaller, bold, white font.

OLD FORT LAKE SUBAREA Site Design

Internal Open Space

- Create useable space that is suitable for leisure or recreational activities for residents and contributes to the residential setting.
- Integrate plazas and other pedestrian oriented spaces in commercial areas that enhance the employees' and public's opportunity for active and passive activities, such as dining, resting, people watching, and recreational activities.



Landscaping

- Emphasize landscaping elements as one of the character defining features of OFL.
- Utilize native, drought-tolerant, and low-maintenance plant species to promote long term success of landscaping.
- Utilize landscaping to screen unwanted views.
- Utilize landscaping to increase human comfort, enhance air quality, provide wildlife habitat, support resilience needs, and reduce stormwater runoff.



Service Element Location and Design

- Limit adverse visual, odor, and noise impacts of mechanical equipment, utility cabinets, trash and recycling receptacles, and other service areas at ground and roof levels.
- Provide adequate, durable, well-maintained, and accessible service and equipment areas.
- Reduce impacts from the location and utilization of service areas.



Do you agree with this policy guidance? Why or why not?

An aerial photograph of a golf course and a lake, with a green overlay on the left side. The text "OLD FORT LAKE SUBAREA Building Design" is overlaid in white.

OLD FORT LAKE SUBAREA Building Design

Architectural Style

Avoid prescribing a single architectural style. Use these tools to achieve desired character:

- Block frontage provisions
- Façade massing & articulation provisions
- Façade details integration standards
- Window design standards
- Building materials standards

Examples



Façade Massing & Articulation

- Update current “Modulation” approach based on VPS results and make provisions more objective (rather than subjective)
- Create “Articulation” standards for residential and commercial/mixed-use development – require integration of 2-3 articulation features from a list – at max intervals of 25-40’

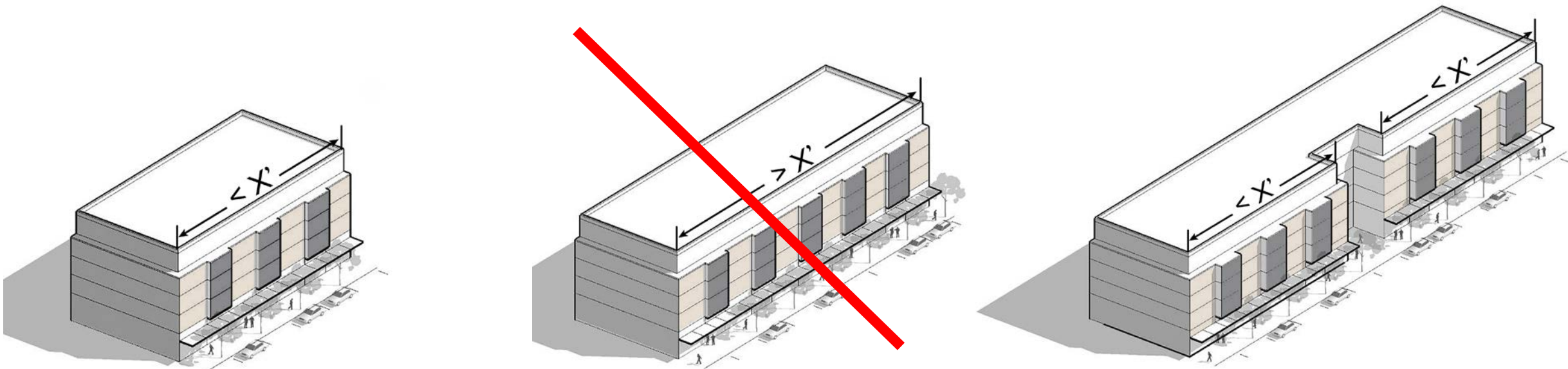
- A. Façade articulation. Residential buildings must include façade articulation features at maximum 30-foot intervals to create a human-scaled pattern. This guideline applies to building elevations facing public streets, private roadways, parks and containing primary building entrances. At least three of the following articulation features must be employed:
1. Use of windows and/or entries.
 2. Use of weather protection features.
 3. Use of vertical piers/columns (applies to all floors of the façade, excluding upper level stepbacks).
 4. Change in roofline per subsection (D) below.
 5. Change in building material, siding style, and/or window pattern (applies to all floors of the façade, excluding upper level stepbacks).
 6. Vertical elements such as a trellis with plants, green wall, art element that meet the intent of the guideline.
 7. Providing vertical building modulation of at least 12-inches in depth if tied to a change in roofline per subsection (D) below or a change in building material, siding style, or color. Balconies may be used to qualify for this option if they are recessed or projected from the façade by at least 18-inches. Juliet balconies or other balconies that appear to be tacked on to the façade will not qualify for this option unless they employ high quality materials and effectively meet the intent of the guidelines.
 8. Other design techniques that effectively reinforce a pattern of facades compatible with the building’s surrounding context.

DESIGN MODIFICATIONS will be considered provided they meet the intent of the Guidelines and the design criteria in subsection (B) below.

Example

Façade Massing & Articulation

For larger buildings, create maximum façade width standards to break up the perceived scale of the building and ensure better compatibility with the desired scale and context.



Example

Façade Massing & Articulation - Example

E. Maximum façade width. Building facades and other building elevations facing lower intensity zone edge must include at least one of the following features to break up the massing of the building and add visual interest. This standard applies to applicable building elevations wider than 100-feet (wider than 150-feet in the MMU zone).

1. Provide vertical building modulation at least six-feet deep and 15-feet wide. For multi-story buildings, the modulation must extend through at least one-half of the building floors.
2. Use of a contrasting vertical modulated design component featuring all of the following:
 - a. Utilizes a change in building materials that effectively contrast from the rest of the façade.
 - b. Component is modulated vertically from the rest of the façade by an average of six-inches.
3. Façade employs building walls with contrasting articulation that make it appear like multiple distinct buildings. To qualify for this option, these contrasting façades must employ all of the following:
 - a. Different building materials and/or configuration of building materials.
 - b. Contrasting window design (sizes or configurations).
4. DEPARTURES to subsections (E)(1-3) will be considered provided the design meets the purpose of the standards. Supplemental consideration for approving alternative designs:
 - a. Width of the façade. The larger the façade, the more substantial articulation/ modulation features need to be.
 - b. Block frontage designation. Storefront designated block frontages warrant the most scrutiny while undesignated streets warrant more flexibility.
 - c. The type of articulation treatment and how effective it is in meeting the purpose given the building's context.



Example

Building Details

- Encourage the incorporation of design details and small-scale elements into building façades that are attractive at a pedestrian scale
- Integrate window design that adds depth, richness, and visual interest to the façade
- Create clear and welcoming building entries



Building Materials

- Encourage the use of durable, high quality, and urban building materials that minimize maintenance cost and provide visual interest from all observable vantage points.
- Promote the use of a distinctive mix of materials that helps to articulate façades and lends a sense of depth and richness to the buildings.
- Place the highest priority on the first floor in the quality and detailing of materials at the pedestrian scale.



Building Materials Example

C. Special conditions and limitations for the use of certain cladding materials.

1. Concrete block (a.k.a. Concrete Masonry Unit or CMU) may be used as a secondary cladding material on all street facing building elevations if it is incorporated with other permitted materials.

DEPARTURES will be considered for alternative designs that use concrete block as the primary, but not the only, cladding material provided the design incorporates a combination of textures and/or colors to add visual interest. For example, combining split or rock-façade units with smooth blocks can create distinctive patterns. The figures below illustrate acceptable concrete block use/designs.

Figure 19.63.060(C)(1)

Acceptable concrete block use/design.



CMU is the primary cladding for the corner element above, but secondary to brick on the main façades. The corner element uses a combination of decorative split faced CMU closer to the sidewalk and smooth-faced CMU that is colored to look more like traditional white terra cotta tiles.




The above façade illustrates an acceptable alternative example, as CMU is used as the primary cladding material. Note the use of split-façade CMU's above each of the awnings and coupled with the use of smooth-façade CMU's on the vertical columns (which employ black accent tiles for added interest).

Generally apply same standards as in other commercial buildings. Specifics and exceptions:

- Require some articulation of the façade – but avoid standards that require building modulation.
- Include standards to enhance building entrances, including some detailing
- Landscaping, particularly around the site perimeter, will be particularly important.

Do you agree with this policy guidance? Why or why not?

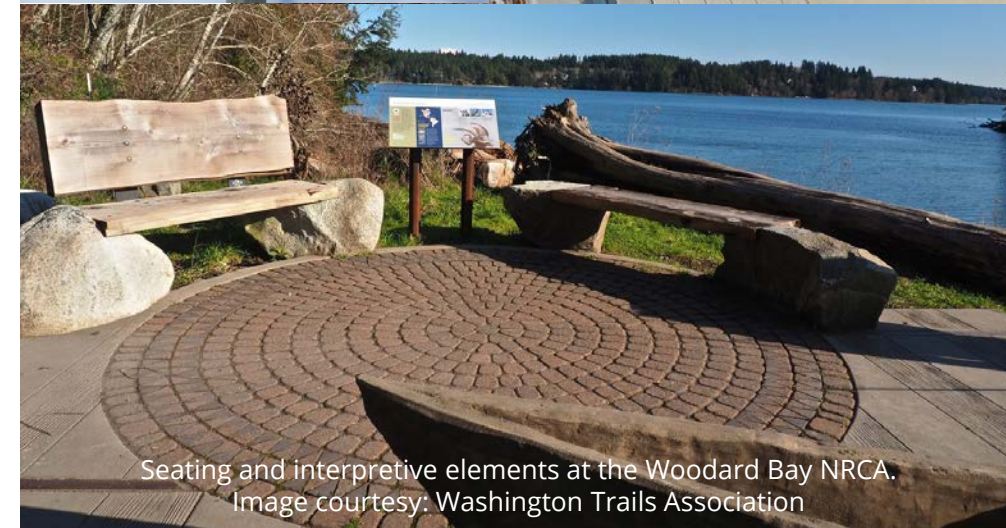
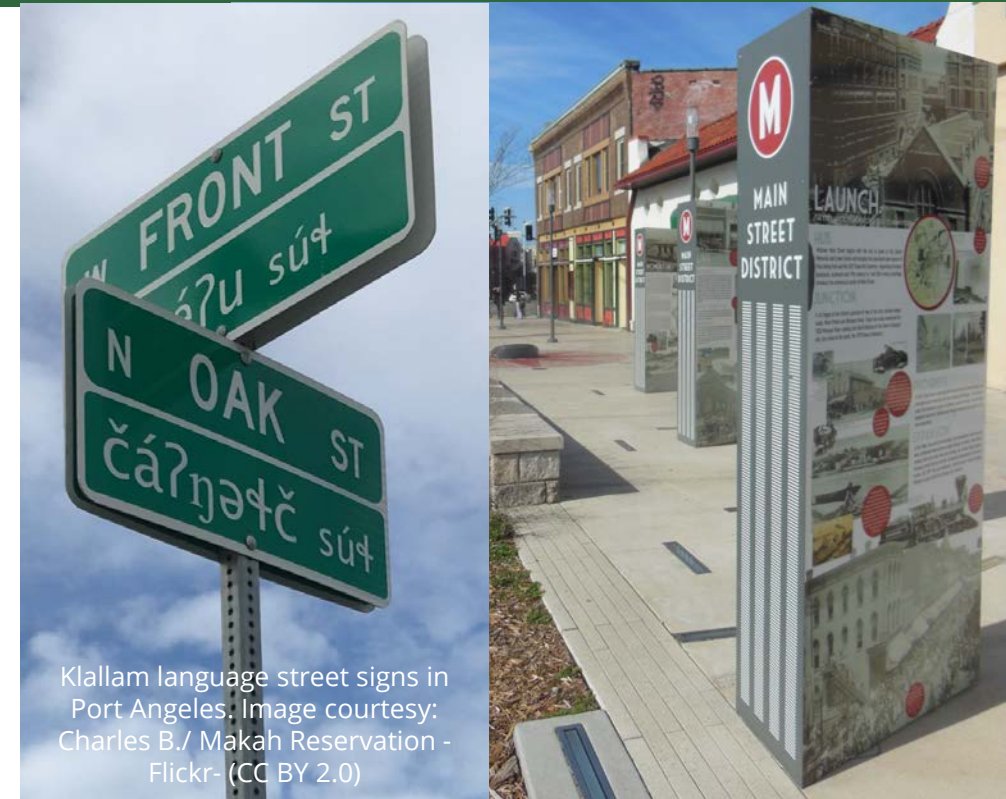
An aerial photograph of a golf course and a lake. The golf course is in the center, with green fairways and sand traps. A large body of water is in the bottom left corner. The background shows a mix of trees and some buildings. The text is overlaid on the left side of the image.

OLD FORT LAKE SUBAREA

History, Culture, Sustainability & Resiliency

History & Culture

- Highlight diverse history
 - Coast Salish people, Hudson Bay era, military history, Dupont Powder Works, industry, and current tribal uses.
- Design opportunities
 - Highlight historic and/or cultural sites
 - Trail network supports storytelling (routes, destinations, interpretive signage, languages, materials etc.)
 - Architectural materials/details
 - Public art



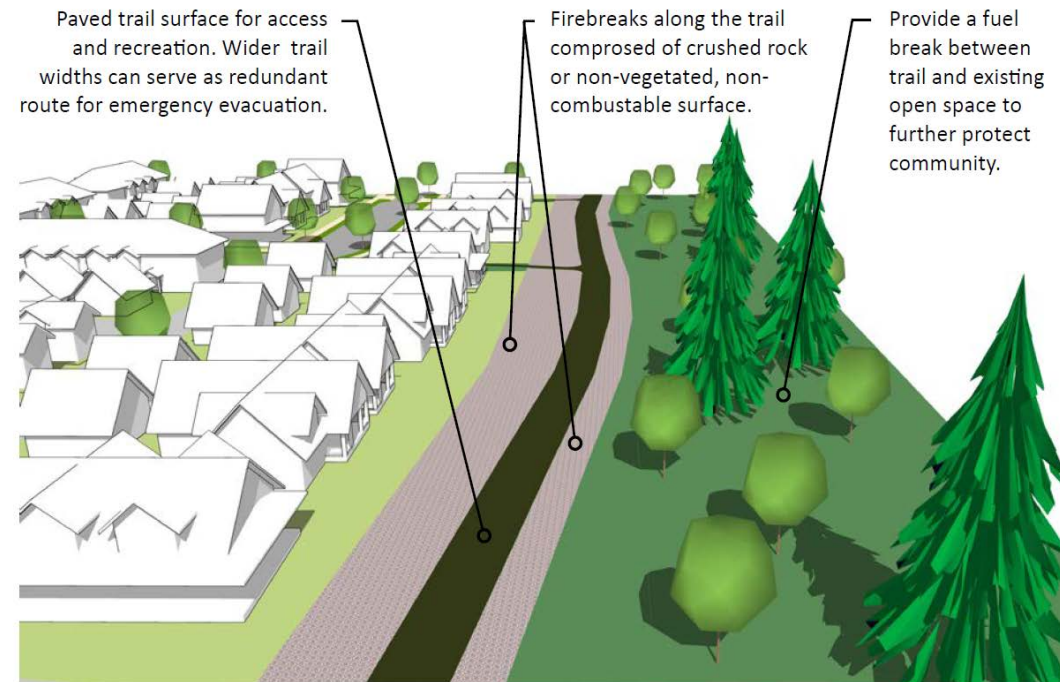
Potential Strategies

- Green Stormwater Infrastructure to reduce runoff and improve water quality
- Water efficient buildings and landscapes
- Promote shade and use reflective materials to reduce heat gain



Potential Strategies for Site Resilience

- Ensure street network has robust emergency access
- Use some trails as supplemental evacuation routes and/or fire breaks
- Consider defensible space (landscaping) and building materials to reduce wildfire risk
- Plan and design site infrastructure for future conditions (heavier rainfall, wildfire vulnerability, etc.)



Do you agree with this policy guidance? Why or why not?

An aerial photograph of a golf course and a lake, with a green overlay. The text "OLD FORT LAKE SUBAREA Goals and Policies Update - DRAFT" is centered over the image.

OLD FORT LAKE SUBAREA Goals and Policies Update - DRAFT

Goals and Policies Updates

- Updated goals and policies are from the existing 2018 Old Fort Lake Subarea Plan, with revisions as noted.
- Revisions shown in underline / ~~strikeout~~ format. Policies that need to be deferred for future discussion are in red text.
- Revisions are largely based on public and planning commission comments, with a few suggestions from staff/consultants.
- Focus on content/meaning. All text will undergo a technical edit prior to publication.
- We will always start with a "draft" and the finish with a "final draft" prior to adoption.
- Homework: Review draft goals and policies for consistency with policy direction discussed, and be prepared to comment.

Trails, Parks & Open Space Draft Goals and Policies

Future [Trails](#), Open Space & Recreation Goals and Policies

The following goals and policies should guide future development and decision-making and were created to assist in the implementation of the Master Plan.

Goal [T](#)OSR-1 **Evolve Old Fort Lake into a centerpiece of the Old Fort Lake subarea and a premier recreational opportunity for DuPont residents.**

[T](#)OSR 1.1 Secure public access to the lake and provide an informational trailhead, [parking, and restroom facility.](#)

[T](#)OSR 1.2 Integrate a looped trail around the lake that connects with surrounding trails and provides views of the lake.

~~[OSR 1.](#) [Enhance natural habitat around the lake.](#)~~

~~[T](#)OSR 1.43 [Manage Preserve and reestablish](#) the native trees and vegetation [around the lake within the OFL critical area buffer to ensure a healthy, native ecosystem.](#)~~

Homework

- Providing handouts tonight.
- For folks joining on line, the handouts are available at this location:
<https://www.dupontwa.gov/696/Old-Fort-Lake-Subarea-Plan-Update>
(Click on Meeting Documents)

Next Steps

- Transportation Goals & Policies
- Trails, Parks and Open Space Goals & Policies
- Community Character Goals & Policies
- Design Standards
- Land Use Map
- Land Use Goals & Policies

PC Meeting Schedule 2023 - 2024

- Old Fort Lake Subarea Plan Update
- City Comprehensive Plan Periodic Update



Thank you!



MAKERS
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