



DuPont Old Fort Lake Subarea Plan Goals & Policies, Design Standards

Planning Commission – September 25 2023



Meeting Agenda

1. Community character goals and policies
2. Presentation/Discuss Old Fort Lake Design Standards
3. Next steps

An aerial photograph of a golf course and a lake. The golf course is green with sand traps and is surrounded by trees. A lake is visible in the bottom left corner. The text is overlaid on the image in a white, bold, sans-serif font. On the far left, there are three vertical bars of increasing green intensity.

OLD FORT LAKE SUBAREA COMMUNITY CHARACTER GOALS & POLICIES

Community Character Goals and Policies

Community Character - Goal 1

Promote pedestrian-oriented development that builds on Dupont's existing design character and responds to Old Fort Lake's unique physical, historical, and cultural context.

Community Character - Goal 2

Create attractive streetscapes that accommodate a variety of users including motorists, bicyclists, and pedestrians.

Community Character - Goal 3

Create signage and wayfinding with the subarea that has a coordinated, thematic design that provide helpful and effective orientation to site amenities and destinations.

Community Character Goals and Policies

Community Character - Goal 1

Promote pedestrian-oriented development that builds on Dupont's existing design character and responds to Old Fort Lake's unique physical, historical, and cultural context.

- **CC-1.1** Craft and administer user-friendly design standards for commercial and multifamily development emphasizing the concepts below. Evaluate the effectiveness of the adopted standards over time and make adjustments necessary to achieve the community design policies herein.
- **CC-1.2** Create block frontage standards that help to create attractive, welcoming and safe streetscapes. This includes:
 - Storefront standards to help create lively commercial/mixed-use neighborhood centers.
 - Mixed pedestrian-oriented frontages in portions of the commercial/mixed-use centers where both storefronts and landscaped setbacks are permitted, and options.
 - Multifamily block frontage standards that emphasize modest landscaped setbacks, buildings oriented towards the street, and parking/garage elements strategically located to the side and/or rear of buildings and deemphasized from the street.
- **CC-1.3** Develop standards that identify highly visible street corners and provide flexible standards to accentuate sites/buildings on those highly visible street corners.
- **CC-1.4** Employ site and building design techniques that promote safe and inviting pedestrian access and connections.

Community Character Goals and Policies

Community Character - Goal 1

Promote pedestrian-oriented development that builds on Dupont's existing design character and responds to Old Fort Lake's unique physical, historical, and cultural context.

- **CC-1.5** Craft standards that manage the location and screening of parking lots and loading docks, minimizing their impact on the streetscape environment.
- **CC-1.5** Create internal open space standards. Specifically:
 - Create useable space that is suitable for leisure or recreational activities for residents and contributes to the residential setting.
 - Integrate plazas and other pedestrian oriented spaces in commercial areas that enhance the employees' and public's opportunity for active and passive activities, such as dining, resting, people watching, and recreational activities.
- **CC-1.6** Create landscaping standards that emphasize landscaping as one of the character-defining features of Old Fort Lake. Specifically:
 - Utilize native, drought-tolerant, and low-maintenance plant species to promote long term success of landscaping.
 - Utilize landscaping to screen unwanted views.
 - Utilize landscaping to increase human comfort, enhance air quality, provide wildlife habitat, support resilience needs, and reduce stormwater runoff.

Community Character Goals and Policies

Community Character - Goal 1

Promote pedestrian-oriented development that builds on Dupont's existing design character and responds to Old Fort Lake's unique physical, historical, and cultural context.

- **CC-1.7** Create standards to promote the thoughtful integration of service elements into the design of sites and buildings. Specifically:
 - Limit adverse visual, odor, and noise impacts of mechanical equipment, utility cabinets, trash and recycling receptacles, and other service areas at ground and roof levels.
 - Provide adequate, durable, well-maintained, and accessible service and equipment areas.
 - Reduce impacts from the location and utilization of service areas.
- **CC-1.8** Create building design standards that emphasize the following:
 - Rather than prescribing a singular architectural style, use block frontage provisions and other standards noted below to achieve the desired design character.
 - Create building massing and articulation standards that help to reduce the perceived scale of large buildings by providing for secondary scales and patterns that are smaller than the entire façade.
 - Place an emphasis on human-scaled design details that contribute to Old Fort Lake's character and identity.
 - Integrate window design that adds depth, richness, and visual interest to the façade.
 - Create clear and welcoming building entries.
 - Integrate window design that adds depth, richness, and visual interest to the façade

Community Character Goals and Policies

Community Character - Goal 1

Promote pedestrian-oriented development that builds on Dupont's existing design character and responds to Old Fort Lake's unique physical, historical, and cultural context.

- Encourage the use of durable, high quality, and urban materials that minimize maintenance cost and provide visual interest from all observable vantage points.
 - Promote the use of a distinctive mix of materials that helps to articulate facades and lends a sense of depth and richness to the building.
 - Place the highest priority on the first floor in the quality and detailing of materials at the pedestrian scale.
 - Provide for a varied built environment that provides for a variety of architectural designs and scales (and/or next sub-policy)
 - Avoid highly repetitive, uniform spaces and places
- **CC-1.9** Develop and adopt design regulations and guidelines for light manufacturing and warehouse land uses within the Old Fort lake subarea. Specifically:
 - Require integration of façade articulation techniques that provide visual interest to the buildings while avoiding requirements for costly façade modulation techniques.
 - Include standards to enhance building entrances, including some human-scaled detailing.
 - Integrate landscaping standards, particularly around the building entry and along the site's perimeter.
- **CC-1.7** Revise City lighting standards to reduce light glare and to follow 'dark sky' principles.

Community Character Goals and Policies

Community Character - Goal 2

Create attractive streetscapes that accommodate a variety of users including motorists, bicyclists, and pedestrians.

- **CC-2.1** Develop and adopt street cross section standards for the subarea that includes landscaping, shade trees, vehicle travel lanes, transit access and amenities, on-street parking, and multi-use pathways.
- **CC-2.2** Continue to require landscaping planters between streets and sidewalks to provide vegetation, shade, and aesthetics.
- **CC-2.3** Require development projects to demonstrate that new roadways and site plans will provide landscaping that meets or exceeds City standards.
- **CC-2.4** Explore opportunities to provide decorative/enhanced paving at key intersections to calm traffic and to emphasize pedestrian/bicyclist crossings.
- **CC-2.5** Identify a long-term funding source and/or partnership opportunity to maintain streets and vegetation.

Community Character Goals and Policies

Community Character - Goal 3

Create signage and wayfinding with the subarea that has a coordinated, thematic design that provide helpful and effective orientation to site amenities and destinations.

- **CC-3.1** Expand City trail signage and informational placards across the subarea to provide direction and guidance for all trail users.
- **CC-3.2** Develop the design and locations for entry monuments into the subarea; ensure the entry signs are coordinated in terms of materials and design.
- **CC-3.3** Create special sign standards for Old Fort Lake subarea that supplement and supersede the City's sign regulations (in the event of a conflict).
- **CC-3.4** Develop standards to ensure that lighted signs are not excessively illuminated and do not cast harsh light onto surrounding properties.
- **CC-3.5** Explore an informational sign program to highlight cultural sites and areas of historical heritage.

An aerial photograph of a golf course and a lake, with a green overlay on the left side. The text "OLD FORT LAKE SUBAREA DESIGN STANDARDS" is overlaid in white, bold, sans-serif font. The background shows a mix of green grass, brown sand traps, and dark water, with some residential areas visible on the right.

OLD FORT LAKE SUBAREA DESIGN STANDARDS

New Chapter 25.71

Old Fort Lake Subarea Zoning & Design Standards

25.70.000-.040 Purpose & Applicability

25.70.100-.140 Zoning Regulations

25.70.200-.240 Community Design Regulations

25.70.300-.340 Design Standards – Introduction

25.70.400-.440 Design Standards – Block Frontages

25.70.500-.540 Design Standards – Site Planning



25.70.600-.640 Design Standards – Building Design

- Purpose
- Applicability – commercial & multifamily development
- How the design standards are applied?
 - Purpose statements
 - Minimum standards
- Departures
 - Voluntary options
 - Select opportunities
 - Must meet purpose of standards & applicable criteria
 - Documentation

Design Standards – Block Frontages

Focus on what you see from the street!

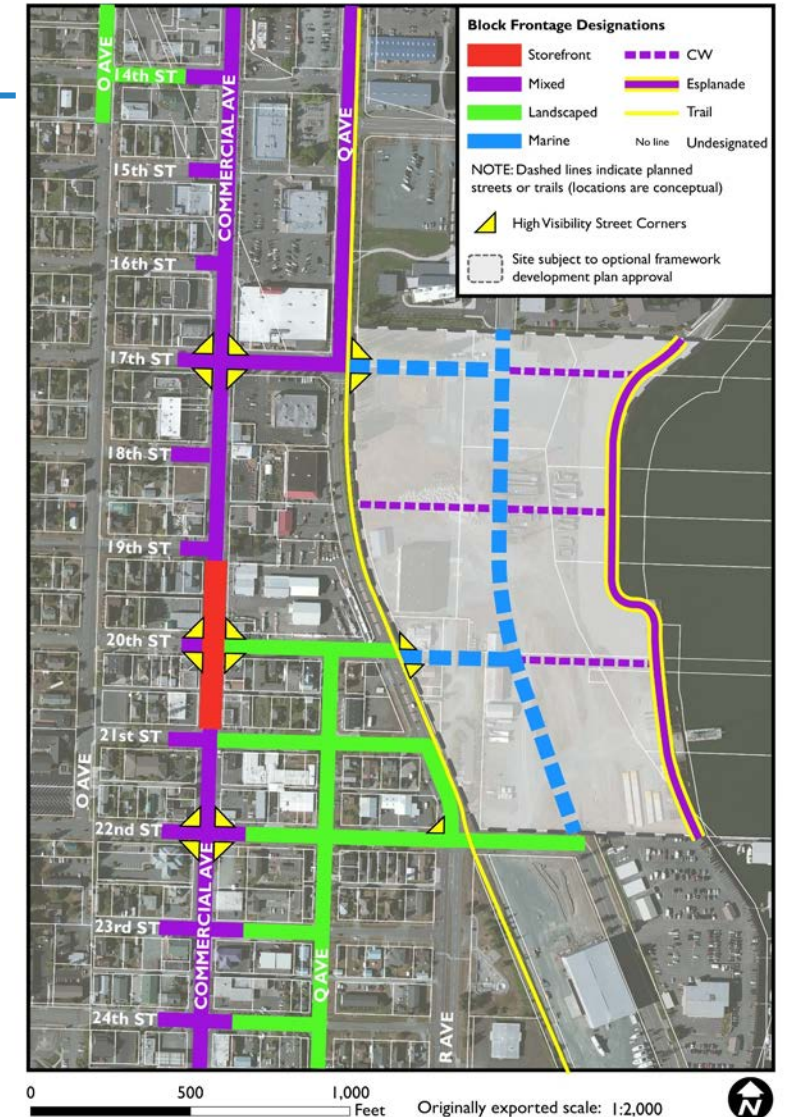
- ID where storefronts ought to go & where optional
- ID design of residential block frontages
- ID areas that warrant more design flexibility

Table 25.71.105 Summary of block frontage standards.		
	Block Frontage Type	Details
Storefront		<ul style="list-style-type: none"> • No ground-level parking adjacent to the street. • Special transparency, weather protection, and entry requirements. • Minimum commercial space height and depth. • No ground floor residential uses except for live/work units on select Storefront designated blocks where the storefront space meets height and depth standards.
Secondary	<p>Storefront or Landscape Frontages allowed</p> <p>↑ ↓</p>	<ul style="list-style-type: none"> • Ground-level parking placed to the side or rear of buildings. • Landscaping to soften façades of non-storefronts and buffer parking areas. • Minimum façade transparency requirements per use and setback.
Landscape		<ul style="list-style-type: none"> • Ground-level parking placed to the side or rear of buildings. • Landscaping to soften façades and buffer parking areas. • Minimum façade transparency requirements per use and setback.
Basic	<p>Storefront or Landscape Frontages allowed</p> <p>↑</p>	<ul style="list-style-type: none"> • No restrictions on parking lot location (except for landscaping standards). • Landscaping to soften façades of non-storefronts. • Minimum façade transparency requirements per use and setback.

Block Frontages – Developer to Map Proposed Designations



Example



Design Standards – Block Frontages: Mapping Rules

Mixed-Use zone(s)



- Storefronts: 20% min
- Basic: 20% max
- Departures

Business Park zone

- Basic, 15' landscaping

Residential

- Landscaped

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Landscaped		<ul style="list-style-type: none">• Ground-level parking placed to the side or rear of buildings.• Landscaping to soften façades and buffer parking areas.• Minimum façade transparency requirements per use and setback.
Basic	Storefront or Landscape Frontages allowed ↑	<ul style="list-style-type: none">• No restrictions on parking lot location (except for landscaping standards).• Landscaping to soften façades of non-storefronts.• Minimum façade transparency requirements per use and setback.

Block Frontages – Storefront

Table 25.71.420(A)

Storefront block frontages vision and key standards

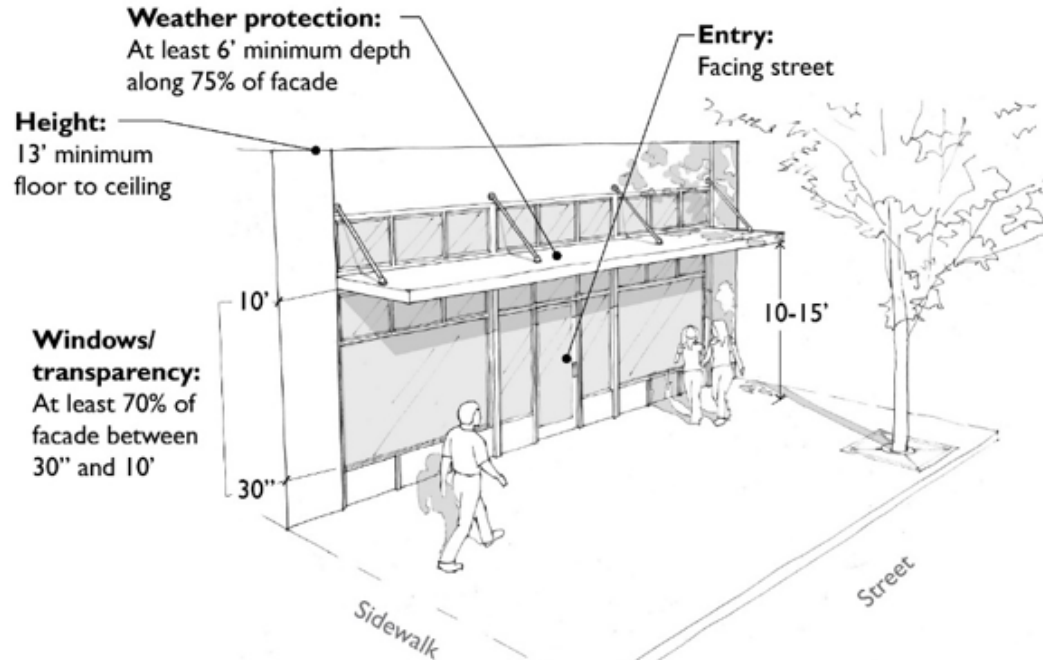




Table 25.71.420(B)

Storefront block frontage standards.

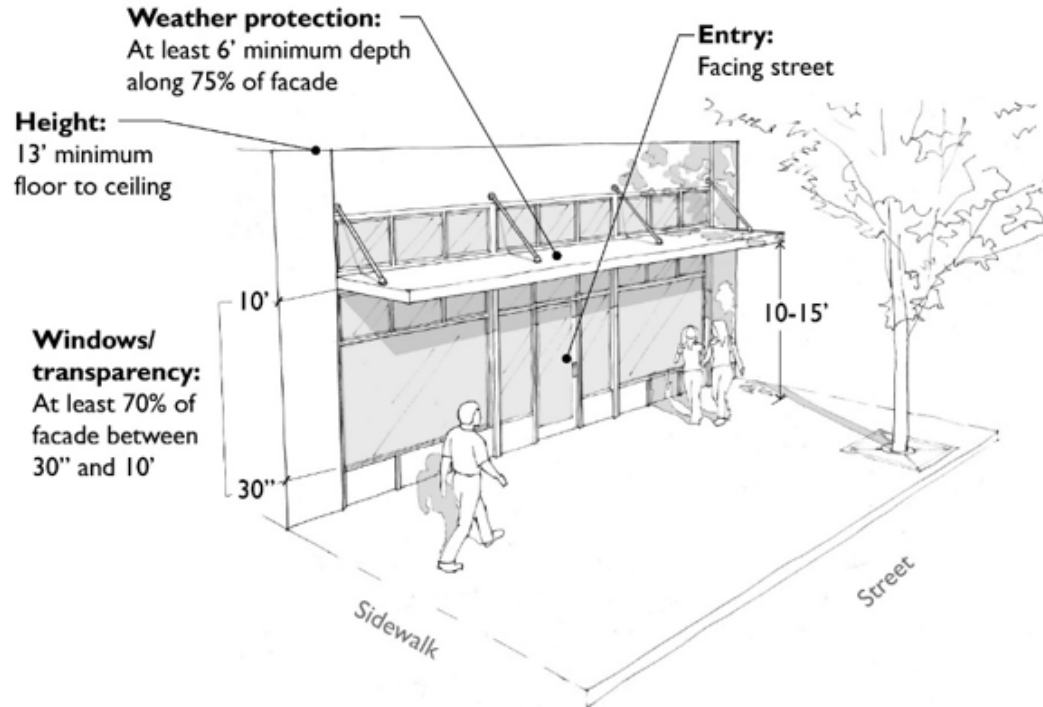
The ➡ symbol refers to DEPARTURE opportunities in DMC 25.71.420(C) below.

Element	Standards	Additional Provisions and Examples
Ground Level		
Land use	Non-residential uses permitted by DMC 25.71.100-130 are required on the ground level.	Lobbies and accessory-uses associated with upper-floor hotel/motel, business service, and multifamily residential uses are allowed provided they are limited to 25% of all Storefront block frontages (measured separately for each block).
Floor to ceiling height	15' minimum	Applies to the area within the minimum retail space depth.
Retail space depth	40' minimum ➡	Applies to the entire width of the retail space.
Building placement	Buildings shall be placed at the back edge of the required sidewalk. Additional setbacks may be allowed for a wider sidewalk or where a public space is provided between the sidewalk and the building.	
Building entrances	Primary building entrances shall face the street. For corner buildings, primary entrances for ground-level uses may face either street or the street corner.	 Examples of building placement and building entrances.
Facade transparency	At least 60% of the transparency zone. ➡	See DMC 25.71.115 for additional clarification on transparency standards.
Weather protection	Weather protection over the sidewalk is required along at least 60% of the building's facade, and it shall be a minimum of 6' deep (drip lines shall be at least that far from the face of the building). ➡ Additional standards:	<ul style="list-style-type: none"> Vinyl or plastic awnings or canopies are prohibited. Any canopy or awning over a public sidewalk should be a permanent architectural element.

Block Frontages – Storefront

Table 25.71.420(A)

Storefront block frontages vision and key standards



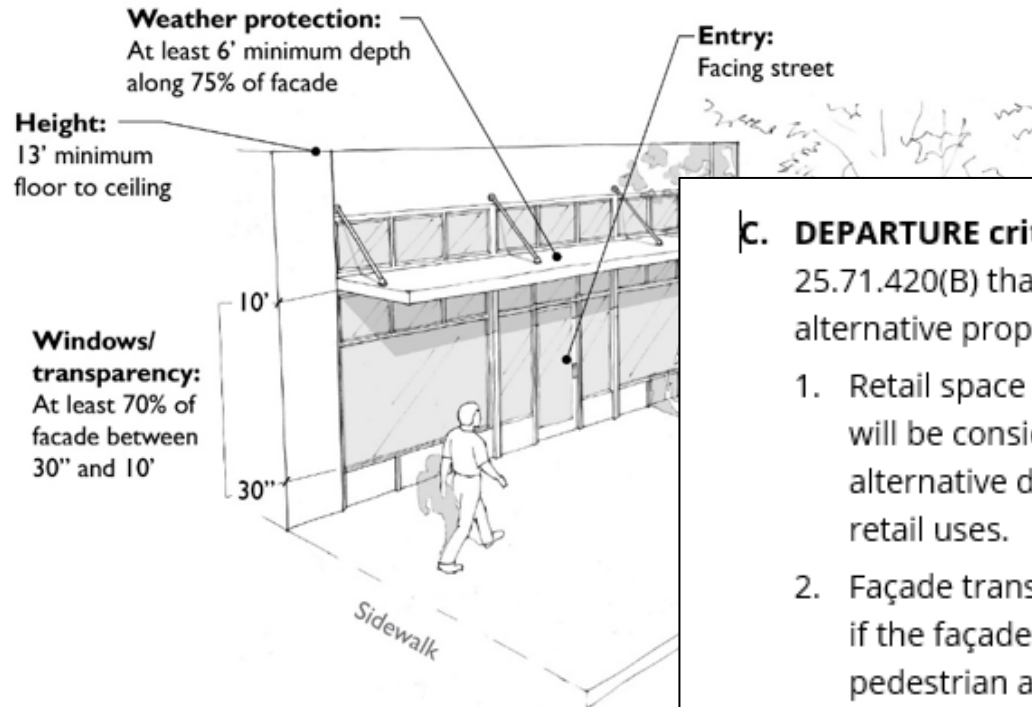
The symbol refers to DEPARTURE opportunities in DMC 25.71.420(C) below.

Element	Standards	Additional Provisions and Examples
	<ul style="list-style-type: none"> Weather protection shall have 10' to 15' of vertical clearance. Weather protection shall not interfere with existing street trees, utility poles, street signs, or extend beyond the edge of the sidewalk. 	<ul style="list-style-type: none"> The building's architectural details should not be concealed by awnings or canopies. Awning shapes should relate to the shape of the façade's architectural elements. Transparent canopies and under-canopy signs and lighting are encouraged.
Parking location 	New ground-level (surface or structured) parking adjacent to the street is prohibited, including parking lot and garage entries and driveways. Parking may be placed below, above, and/or behind storefronts.	
Sidewalk width 	<p>Minimum design options:</p> <ul style="list-style-type: none"> 14' minimum between the curb edge and the storefront, including 10' minimum walking surface width and trees are integrated in grates. 10' minimum sidewalk and 6' minimum planter strip. <p>Setbacks and utility easements shall also be considered and may result in a larger minimum sidewalk width.</p>	

Block Frontages – Storefront

Table 25.71.420(A)

Storefront block frontages vision and key standards

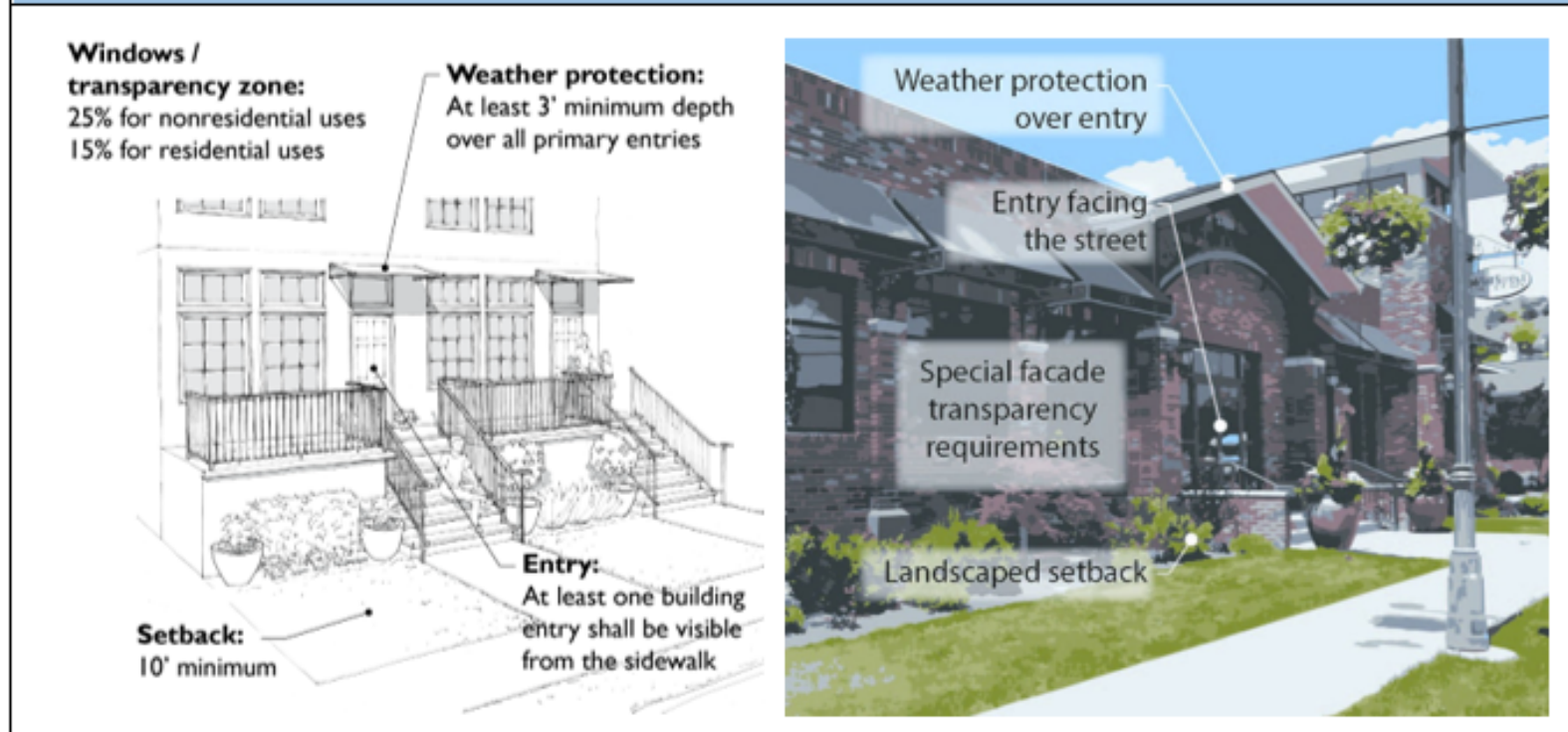


- C. DEPARTURE criteria.** Departures from the storefront block frontage standards in Table 25.71.420(B) that feature the ➡ symbol will be considered per DMC 25.71.340, provided the alternative proposal meets the purpose of the standards and the following criteria:
1. Retail space depth. Reduced depths on up to 25 percent of the applicable block frontage will be considered where the applicant can successfully demonstrate the proposed alternative design and configuration of the space is viable for a variety of permitted retail uses.
 2. Façade transparency. Façade transparency may be reduced to a minimum of 40 percent if the façade design between ground-level windows provides visual interest to the pedestrian and mitigates the impacts of blank walls.
 3. Weather protection. Weather protection elements may be reduced in length to no less than 50 percent along building's façade and to no less than four feet in depth, provided the proposed design is proportional to architectural features of the building and building design trade-offs (elements that clearly go beyond minimum building design regulations in this chapter) meet the purpose of the standards.

Block Frontages – Landscaped

Figure 25.71.430(A)

Landscaped block frontages vision examples and key standards.




- B. Applicability.** The standards herein apply to residential development in all zones and non-residential development in residential zones. Landscaped block frontages are also an optional design for development with ground floor non-residential uses along Secondary block frontages. Exception: Residential developments adjacent to Secondary block frontage designations may utilize Storefront block frontage designs for leasing and common areas

Block Frontages – Landscaped


Table 25.71.430(B)

Landscaped block frontage standards.

The ➡ symbol refers to DEPARTURE opportunities in DMC 25.71.430(C) below.

Element	Standards	Additional Provisions and Examples
Ground Level Land use	Any use permitted by DMC 25.71.100-130.	
Building placement ➡	<p>10' minimum setbacks are required.</p> <p>Additional standards:</p> <ul style="list-style-type: none"> • 20' maximum setback. • Covered entries and porches are allowed to project up to 6' into this required setback. • Additional setbacks may be required where future right-of-way need and/or acquisitions have been identified in city plans. 	
Building entrances	At least one public or shared building entry shall be visible from the sidewalk and feature direct physical access from the sidewalk. ➡	Primary private entrances facing the street for ground level residential units are encouraged. See related standards in DMC 25.71.630.
Façade transparency ➡	<p>Shall have at least 25% transparency for buildings with ground level nonresidential uses. ➡</p> <p>Shall have at least 15% transparency for buildings with ground level residential uses.</p>	See DMC 25.71.415 for additional clarification on transparency standards.
Weather protection	Weather protection at least 3' deep shall be provided over	

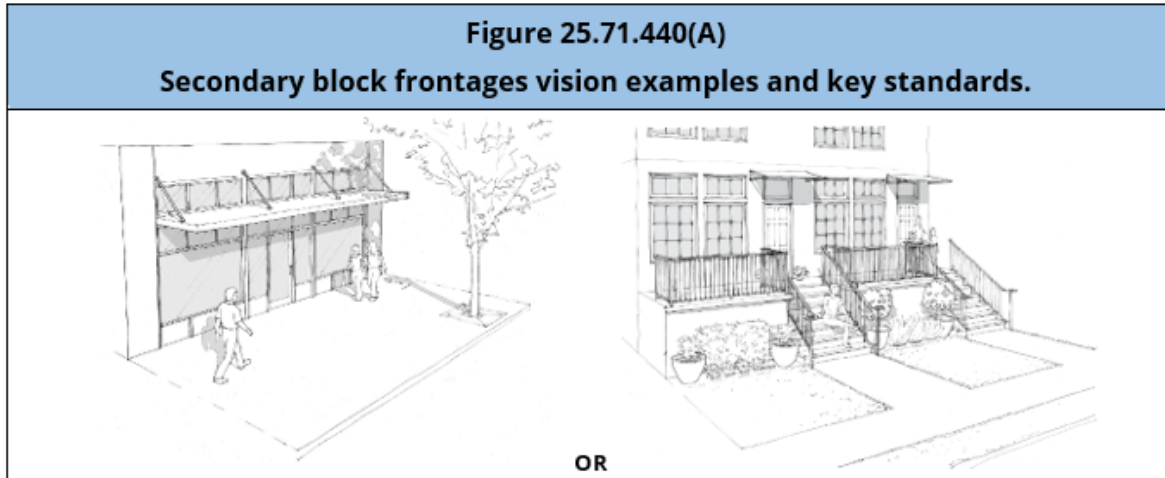
The ➡ symbol refers to DEPARTURE opportunities in DMC 25.71.430(C) below.

Element	Standards	Additional Provisions and Examples
Parking location ➡	Parking shall be located to the side, under, or rear of buildings. For multi-building developments, no more than 50% of the lot frontage can be occupied by off-street parking and driveways. ➡	
Landscaping Also see DMC 25.71.580. ➡	<p>All areas between the sidewalk and the building must be landscaped, except for pathways, porches, decks, and plazas. Such landscaping shall include a mixture of evergreen and deciduous trees, shrubs, and ground cover. Landscaped areas may include rain gardens and other forms of stormwater management.</p> <p>Parking lots developed adjacent to the street shall integrate a 10' wide landscape buffer with trees (75% deciduous @ 25' on-center), low shrubs (1/20sf of landscaped area), and ground cover. ➡</p>	
Sidewalk width	A six-foot sidewalk accompanied by a minimum five-foot landscape strip is required within the right-of-way adjacent to the front property line as well as adjoining arterial corridors.	

Block Frontages – Secondary

25.71.440 – Secondary block frontage standards.

- A. Purpose.** The block frontage designation serves areas that accommodate a mixture of ground floor uses and allows a diversity of development frontages for the purpose of contributing to the visual character of the street and enhancing the pedestrian environment.



- B. Standards.** All development on sites containing a Secondary block frontage have the option to comply with either the Storefront or Landscaped block frontage provisions as set forth in DMC 25.71.420 and .430, with the modifications in Table 25.71.440(B) below.

Table 25.71.440(B) Secondary block frontage standards.		
The ➡ symbol refers to DEPARTURE opportunities in DMC 25.71.440(C) below.		
Element	Standards	Additional Provisions and Examples
Building placement	Buildings placed up to the sidewalk edge shall meet storefront block frontage standards in DMC 25.71.430.	See DMC 25.71.470 for special design provisions associated with ground level residential uses adjacent to a sidewalk.

Block Frontages – Basic

25.71.450 – Basic block frontage (streets with no designated block frontage).

- A. Purpose.** Basic block frontages offer greater flexibility in siting off-street parking areas, while providing visual interest at all observable scales and meet the design objectives of the city.
- B. Standards.** All development on sites with a Basic block frontage designation shall comply with the standards in Table 25.71.450(B) below. DEPARTURES will be considered pursuant to DMC 25.71.340.

Table 25.71.450(B) Basic block frontage standards.	
The ➡ symbol refers to DEPARTURE opportunities in DMC 25.71.450(C) below.	
Element	Standards
Building placement	Buildings placed up to the sidewalk edge shall meet storefront block frontage standards in DMC 25.71.430. Buildings not placed up to the sidewalk shall feature a 10' minimum street setback except where greater setbacks are required by the zone.
Building entrances	Building entrances facing the street are encouraged. At a minimum, at least one building entry visible and directly accessible from the street is required. ➡ Where buildings are setback from the street, pedestrian connections from the sidewalk are required.
Façade transparency	<ul style="list-style-type: none">• For storefronts, at least 60% ➡• Other buildings designed with non-residential uses on the ground floor within 10' of sidewalk, at least 30%. ➡• For residential buildings, at least 15%. ➡
Weather protection	At least 3' deep over primary business and residential entries.
Parking location	There are no parking lot location restrictions, except for the following landscaped buffer requirements: Parking lots developed adjacent to the street shall integrate a 10' wide landscape buffer with trees (75% deciduous @ 25' spacing), shrubs (4' spacing), and grass (10' spacing).

Block Frontages – High Visibility Street Corner

25.71.460 – High visibility street corner standards.

- A. Mapping and purpose.** High visibility street corners, including all street corners on Arterial streets in Mixed-Use zones and key neighborhood gateway locations when located in the Business Park zone, shall be identified in Master Plans. The purpose is to accentuate street corners with high visibility to the public.
- B. Standards.** Sites located on high visibility street corners shall meet the following requirements:
1. Buildings shall be located within 20 feet of the street corner.
 2. At least one of the following special features shall be included:
 - a. Corner plaza.
 - b. Cropped building corner with a special entry feature.
 - c. Decorative use of building materials at the corner.
 - d. Distinctive façade articulation.
 - e. Sculptural architectural element.
 - f. Other decorative elements that meet the purpose of the standards.

Figure 25.71.460
High visibility street corner examples.



Building A feature cropped building corners with a change in materials and decorative elements. Building B uses a decorative canopy. Building E incorporates a plaza at the corner.

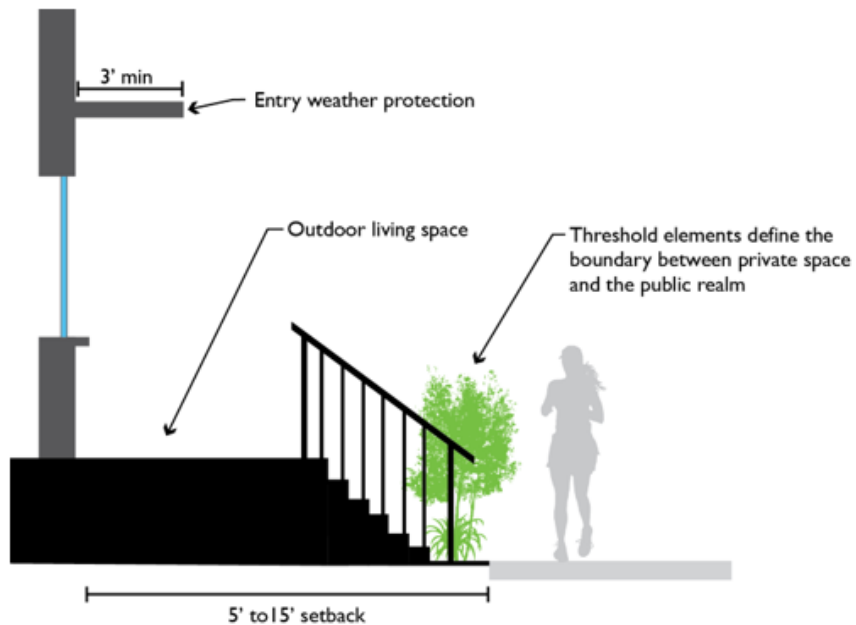


Example

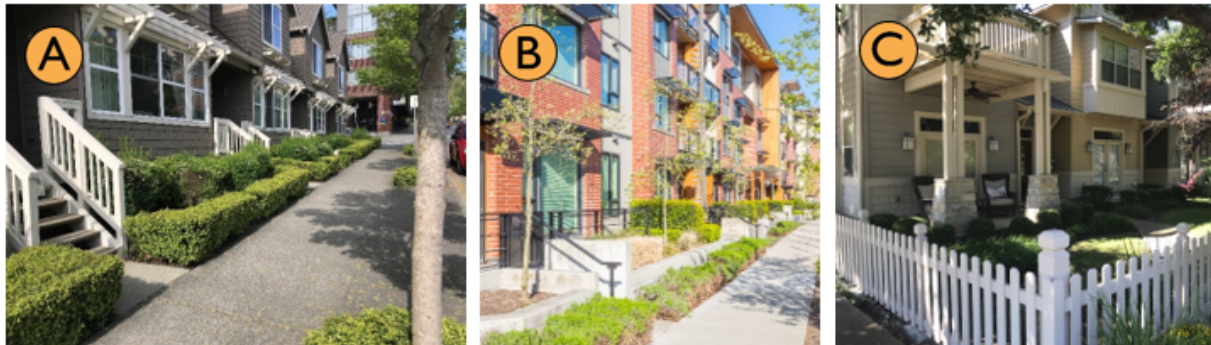
Block Frontages – Ground Floor Residential Frontages

Figure 25.71.470(C)(3)

Good examples of ground-level residential frontages.



Above: Key features of ground level frontages with shallow setbacks.



Building A uses inset stoops and ground level planters. Building B uses stoops with terraced planters. Building C is an at-grade example with a fenced yard between the sidewalk and dwelling.

Design Standards – Site Planning

25.71.500 – Side and rear-yard setbacks

25.71.510 – Side and rear-yard setbacks

25.71.520 – Residential amenity space

25.71.530 – Commercial open space

25.71.540 – Internal pedestrian access and design

25.71.550 – Vehicular circulation and parking

25.71.560 – Service areas and mechanical equipment

25.71.570 – Site lighting

25.71.580 – Landscaping

Site Planning – Side & Rear Setbacks

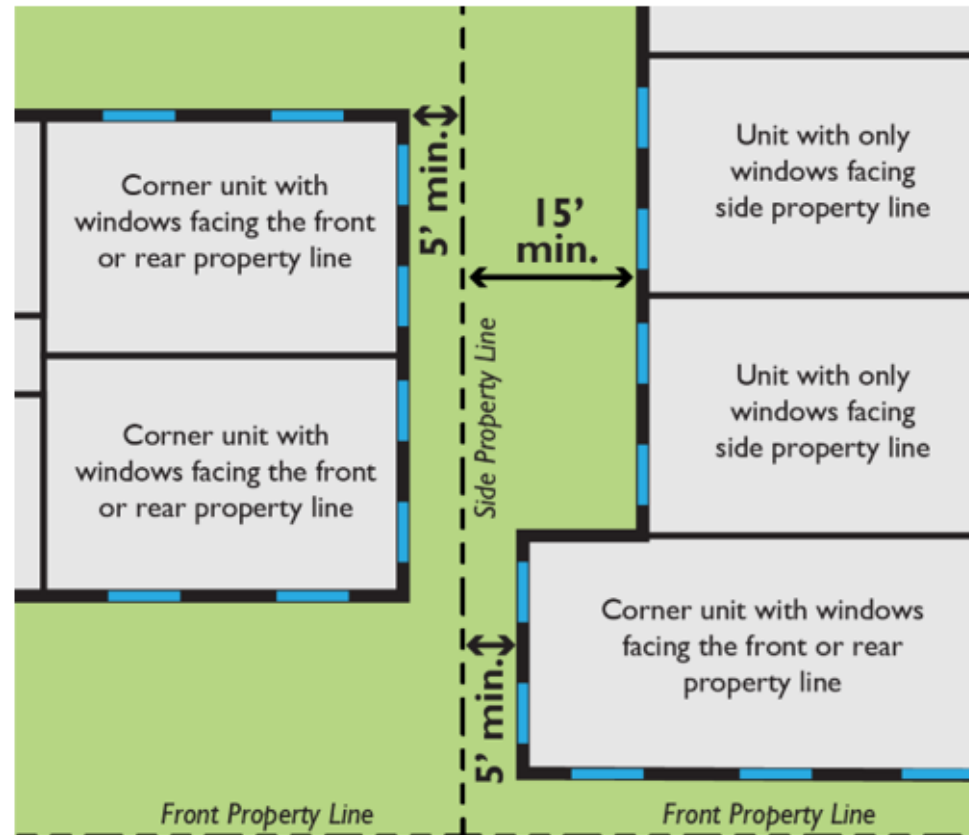
Table 25.71.510(B) Minimum side- and rear-yard setbacks.	
Context	Min. Setback
Two options for 0' setbacks when allowed by applicable zoning district in Table 25.71.130: (1) Buildings adjacent to an alley when permitted in applicable zoning district; or (2) Window-less firewalls along other side or rear property lines for storefront buildings located on and complying with Storefront or Secondary block frontages. Such firewalls are limited in height to 25 feet.	0'
When required per subsection (C) below for light and air access and privacy along the side and rear property lines.	15'
All other contexts (other than the two situations noted above)	5'

Site Planning – Side & Rear Setbacks

Minimum side and rear setbacks
Context
Two options for 0' setbacks when allowed by zoning district in Table 25.71.130:
(1) Buildings adjacent to an alley when permitted by zoning district; or
(2) Window-less firewalls along other side of building for storefront buildings located on and adjacent to a street. Storefront or Secondary block frontage is limited in height to 25 feet.
When required per subsection (C) below for light and privacy along the side and rear property lines.
All other contexts (other than the two situations above)

Figure 25.71.510(C)

Light/air access and privacy standards for multifamily residential buildings along interior side and rear property lines.



Site Planning – Residential Amenity Space

C. Amount required. Applicable developments space equal to a minimum of:

1. 150 square feet per dwelling unit for stud
2. 200 square feet per dwelling unit for dwe

The required open space may include the fol

Table 25.
Residential ame

Element Residential amenity space types	
Common outdoor recreation areas See subsection (F)(1)	
Shared roof decks See subsection (F)(2)	
Private ground level open space See subsection (F)(3)	May
Private balconies See subsection (F)(4)	
Shared indoor recreation areas See subsection (F)(5)	Ma
Children's play areas See subsections (D) and (F)(6)	F

Figure 25.71.520(F)(1)

Common outdoor recreation area examples.



Image A includes a combination of open lawn area for informal recreation plus walkways and decorative landscape areas to enhance the setting for residents. Image B includes a pond/wetland type area with a boardwalk. Image C includes a covered gathering space with outdoor grills adjacent to a landscaped commons with a central walkway. Image D includes a common green area with large trees.

Site Planning – Commercial Open Space

25.71.530 – Commercial open space.

- A. Purpose.** To integrate plazas and other pedestrian oriented spaces in commercial areas that enhance the employees' and public's opportunity for active and passive activities, such as dining, resting, people watching, and recreational activities
- B. Usable commercial open space.** New developments on designated Storefront block-frontages and other developments with non-residential uses with more than 10,000 square feet of gross floor area must provide 400 square feet of pedestrian-oriented space for each 100 lineal feet of block frontage. Pedestrian-oriented space located adjacent to street corners may be counted for the frontages of both streets. Portions of sidewalks that are wider than the minimum required in DMC 25.71.2xx may be used to meet up to 50 percent of this requirement.
- C. Design criteria.** Required usable commercial open space shall meet the following standards:
1. Required features:
 - a. Visual and pedestrian access into the site from a nonvehicular courtyard.
 - b. Paved walking surfaces of either concrete or apervious concrete paving is allowed.
 - c. The spaces must be located in or adjacent to an area to provide interest and security, such as adjacent to a building.
 - d. At least two feet of seating area (a bench or ledge of appropriate seating height) or one individual seating space.
 - e. Landscaping components that add visual interest. This could include planting beds, raised planter

Figure 25.71.530

Good commercial open space examples.



Site Planning – Internal Pedestrian Access & Design

Figure 25.71.540(B)

Good examples of direct pedestrian access to buildings from the street.



Figure 25.71.540(C)(1)

Example site plan with good internal and external pedestrian connections.



Site Planning – Vehicular Circulation & Parking

25.71.550 – Vehicular circulation and parking.

The standards herein supplement the provisions of the Dupont Public Works Standards Manual. Where there is a conflict, the provisions herein apply, except that the City Engineer may override this requirement and apply the Public Works standard for a driveway if the Public Works Director finds that a failure to apply the Public Works standards will result in a threat to public safety.

A. Purpose.

1. To create a safe, convenient, and efficient network for vehicle circulation and parking.
2. To enhance the visual character of interior access roads.
3. To minimize conflicts with pedestrian circulation and activity.

B. Driveways. Driveways shall meet the standards of the Dupont Public Works Standards Manual, including, but not limited to, standards for intersection spacing, distance from crosswalks, and width.

C. Parking entry location. Parking lot and parking garage entries shall provide vehicular access in the following order of preference:

1. Alleys.
2. Basic block frontage streets.
3. Landscaped block frontage streets.
4. Secondary block frontage streets.

See related standards for parking location in DMC 25.71.400-480, Block Frontage Standards.

D. Garage and service area entries and pedestrian safety.

1. Parking garage entries and service area entries shall be well-integrated into the design of the building and shall not dominate the streetscape. They should be designed and sited to complement, not subordinate, the pedestrian entry.
2. Where vehicles enter and exit a parking garage or service area across a sidewalk or internal walkway, direct visibility between pedestrians and motorists shall be provided. Treatments shall include setback entries, cropped wall corners, wall openings, or other treatments to enhance safety and visibility. Treatments should also include pavement markings or changes in pavement materials. Mirrors and electronic visual/audio warnings alone are not acceptable methods of visibility.

Site Planning – Service Areas & Mechanical Equipment

- Location of ground-level service areas and mechanical equipment
- Screening of ground-level service areas and mechanical equipment
- Utility meters, electrical conduit, and other service utility apparatus
- Roof-mounted mechanical equipment



Site Planning – Site Lighting

- Purpose/applicability
- General standards
- Height
- Parking lot lighting
- Exterior lighting controls
- Decorative lighting
- Prohibited lighting



Site Planning – Landscaping

25.71.580 – Landscaping.

A. Purpose.

1. To emphasize landscaping as one of the character-defining features of the Old Fort Lake Subarea.
2. To accommodate flexibility for the total amount of landscaped area for mixed-use and multifamily areas.

B. Wildland-Urban Interface standards. Old Fort Lake Subarea is within defined Wildland-Urban Interface areas and are thus subject to special landscaping standards for such areas. Where these landscaping standards conflict with applicable Wildland-Urban Interface standards, the Wildland-Urban Interface standards apply.

NOTE: Standards below are subject to environmental cleanup provisions under review in the EIS and may need to be modified consistent with findings.

C. Standards. Applicable developments are subject to the landscaping provisions of DMC Chapter 25.90, with the following exceptions:

1. Minimum landscaped area for multifamily areas where more than 50 percent of the off-street parking is contained within or under buildings shall be 25 percent.
2. Minimum landscaped area for mixed-use areas where more than 50 percent of the off-street parking is contained within or under buildings shall be 15 percent.

The following landscaped types and credits may be used by those multifamily and mixed-use developments set forth in subsections (1) and (2) above to meet the standards:

3. Ground level planting beds qualify as landscaped surfaces at a 100 percent rate. Ground level planting area that supports trees (which will require greater soil volumes) may qualify for bonus credit. Specifically, planting areas that support a large tree (height greater than 30 feet at maturity) may be counted at a 200 percent rate (includes planting area under projected dripline at maturity) and planting areas that support a medium sized tree (height greater than 15 feet at maturity) may be counted at 150 percent rate. Terraced or other raised planting surfaces qualify as landscaped surfaces at the same rates as ground level planting beds depending on the soil volume capable of supporting only ground cover plants qualify at a 50 percent rate].
4. Green roof. Green roofs qualify as a landscaped surface at a 50 percent rate (i.e., two square feet of green roof qualifies as one square foot of landscaped area) provided they comply with Wildland-Urban Interface standards. Green roof areas with soil depths greater than 12 inches and planned to support large shrubs and trees qualify as a landscaped surface at a 100 percent rate.

25.71.600 – Purpose

25.71.610 – Building character and variety

25.71.620 – Building massing and articulation

25.71.630 – Building details

25.71.640 – Building materials

25.71.650 – Blank wall treatments

25.71.610 – Building character and variety.

A. Purpose.

1. To avoid generic, corporate architectural design that degrades the character and identity of Dupont.
2. To avoid monotonous repetition of the same building forms, materials, and colors in larger developments.

B. Corporate architecture prohibited. Architecture that is defined predominately by corporate identity features and is difficult to adapt to other uses is prohibited. For example, some franchise convenience uses have very specific architectural features (such as a distinctive roofline design that functions as a sign) that reinforce their identity. As tenants change in these types of buildings, these corporate identity features can negatively impact the character of the area and identity of new tenants. These features can also be very expensive to reconfigure and adapt to new uses.

C. Building design variety. Buildings in multi-building developments shall visibly vary in at least one significant aspect so that they are clearly not identical as viewed from public streets. Aspects can include forms, massing and the composition and articulation of exterior building materials, fenestration patterns, building entries, weather protection features, and rooflines.

Building Design – Building Massing & Articulation

B. Exemptions. Buildings with less than 50 horizontal feet of façade are exempt from the standards in this section.

C. Façade articulation. Façade articulation to create a human-scaled pattern is required for street-facing building façades and other building elevations facing parks, containing primary building entrances, and adjacent to lower intensity zones. Articulation features are listed in subsection (D).

For non-residential buildings and non-residential portions of mixed-use buildings, at least three articulation features shall be employed at intervals no greater than 40 feet in the Mixed Use zone, and 60 feet in the Business Park zone.

Townhouse buildings, multifamily buildings, and residential portions of mixed-use buildings façades in all applicable zones shall employ at least three articulation features at intervals that relate to the location/size of individual units within the building (or no more than every 50 feet).

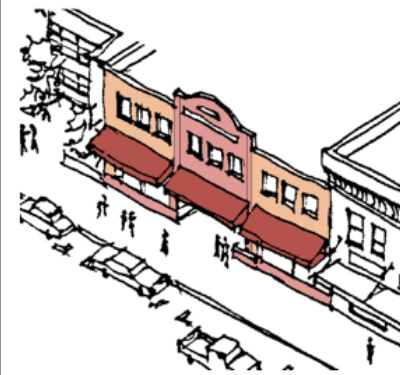
D. Articulation features to meet the standards of (C) above include:

1. Use of window patterns and/or entries that reinforce an articulation pattern.
2. Use of awnings or similar weather protection features (not applicable to residential buildings).
3. Use of vertical piers/columns.
4. Change in roofline with a difference in height, slope or pitch, direction, or shape (such as towers or dormers).
5. Change in building material or siding style.
6. Use of vertical building modulation of at least 12 inches in depth if tied to a change in roofline per subsection (4) of this section or a change in building material, siding style, or color. On residential buildings balconies may be used to qualify for this option if they are recessed or projected from the façade by at least 18 inches. Juliet balconies or other balconies that appear to be tacked on to the façade will not qualify for this option unless they employ high quality materials and effectively meet the purpose of the standards.
7. Other design techniques that effectively break up the massing of structures and add visual interest.

DEPARTURE: Other articulation features may be approved, provided they meet the purpose of the standards and the design criteria set forth in subsection (D) of this section.

Figure 25.71.620(D)(1)

Non-residential articulation examples.



The left image uses window patterns, weather protection elements, and roofline modulation. The photo example to the right also includes window patterns and weather protection along with a change in masonry texture and color to articulate the façade. The lower example illustrates how a multitenant retail building can successfully be articulated (windows, weather protection, vertical building modulation, and roofline changes).



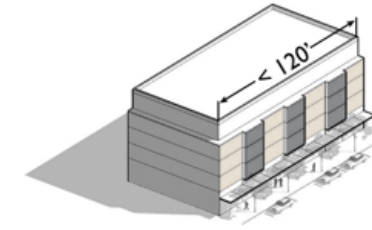
Building Design - Details

F. Maximum façade width. Street-facing building facades and other building elevations facing lower intensity zone edge must include at least one of the following features to break up the massing of the building and add visual interest. This standard applies to applicable building elevations wider than 120-feet (wider than 200-feet in the Business Park zone).

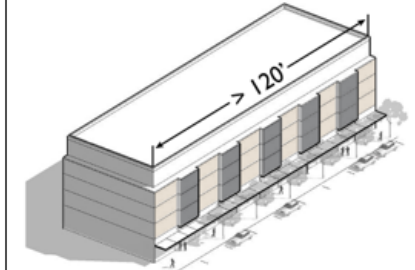
1. Provide vertical building modulation at least six-feet deep and 15-feet wide. For multi-story buildings, the modulation must extend through at least one-half of the building floors.
2. Use of a contrasting vertical modulated design component featuring all of the following:
 - a. Utilizes a change in building materials that effectively contrast from the rest of the façade.
 - b. Component is modulated vertically from the rest of the façade by an average of six-inches.
3. Façade employs building walls with contrasting articulation that make it appear like multiple distinct buildings. To qualify for this option, these contrasting façades must employ all of the following:
 - a. Different building materials and/or configuration of building materials.
 - b. Contrasting window design (sizes or configurations).
4. DEPARTURES to subsections (F)(1-3) will be considered provided the design meets the purpose of the standards. Supplemental consideration for approving alternative designs:
 - a. Width of the façade. The larger the façade, the more substantial articulation/modulation features need to be.
 - b. Block frontage designation. Storefront designated block frontages warrant the most scrutiny while undesignated streets warrant more flexibility.
 - c. The type of articulation treatment and how effective it is in meeting the purpose given the building's context.

Figure 25.71.620(F)

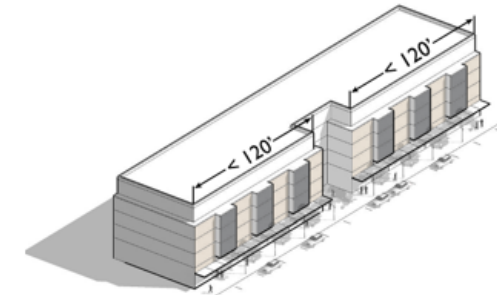
Illustrating maximum façade width standards and good and bad examples.



Less than 120' wide: Meets standard.



More than 120' wide: Does not meet standard.



Building incorporates a courtyard along the façade (technique #1 noted above) to effectively break it up into smaller components: Meets standard.



The left building uses technique #1 (vertical building modulation at least six-feet deep and 15-feet wide). The right building uses technique #2 (contrasting vertical modulated design component). Both examples are effective in breaking up the perceived scale of the building and adding visual interest.

Building Design - Materials

25.71.630 – Building details.

A. Purpose. This section contains standards that affect the human experience of architecture at the ground level and the quality of windows. The purpose of this section is:

1. To encourage the incorporation of design details and small-scale elements into building façades that are attractive at a pedestrian scale.
2. To integrate window design that adds depth, richness, and visual interest to the façade.
3. To create clear and welcoming building entries.

B. Applicability. This section applies to street-facing building façades and other building façades facing parks and containing primary building entrances.

C. Façade details – nonresidential and mixed-use buildings. The ground floor of commercial and mixed-use buildings shall be enhanced with appropriate details.

1. This standard applies to building façades and building elevations facing parks and containing primary building entrances.
2. All new buildings shall employ at least one detail element from each of the three categories in subsection (D) for each façade articulation interval (see DMC 25.71.330). For example, a building with 120 feet of street frontage with a façade articulated at 40 feet intervals will need to meet the standards for each of the three façade segments below.

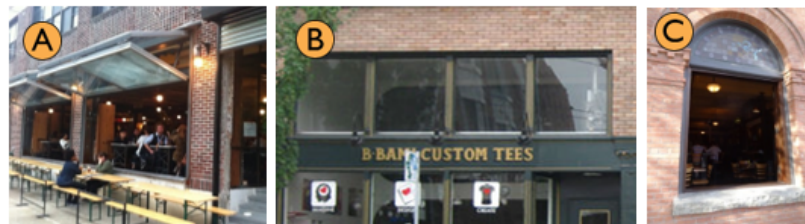
D. Façade detail categories.

1. Window and/or entry treatment:

- a. Display windows divided into a grid of multiple panes.
- b. Transom windows.
- c. Roll-up windows/doors.
- d. Other distinctive window treatment that meets the purpose of the standards.
- e. Recessed entry.
- f. Decorative door.
- g. Other decorative or specially designed entry treatment that meets the purpose of the standards.

Figure 25.71.630(D)(1)

Examples of decorative or specially designed windows and entries.



E. Window design standards.

1. All windows (except storefront display windows) shall employ designs that add depth and richness to the façade. At least one of the following features shall be included to meet this requirement:
 - (a) Recess windows at least 1.5 inches from the façade.
 - (b) Incorporate window trim (at least three inches wide) around windows.
 - (c) Incorporate other design treatments that add depth, richness, and visual interest to the façade.

DEPARTURES from the window standards above will be considered, provided the design meets the purpose of the standards.

Figure 25.71.630(E)

Acceptable and unacceptable window design examples.



The windows in Building A is recessed by at least 1.5" from the façade. Building B features trim at least 3" wide. Building C windows may not meet the full 1.5" recess, but the detailing add a sense of depth and richness to the façade. Building D is not recessed, does not feature trim, and does not include any

Building Design – Building Materials

D. Special conditions and limitations for concrete block (also known as concrete masonry unit or CMU). Concrete block may be used as a cladding material for single story non-residential buildings or on the ground floor of any multi-story building provided it is incorporated with other permitted materials and/or incorporates a combination of textures

and/or colors to add visual interest. For example, combining smooth blocks can create distinctive patterns. The figure below shows acceptable concrete block use/designs.

DEPARTURES will be considered, provided the material's integration and overall façade composition meets the purpose of the standards.

Figure 25.71.640(D)

Acceptable concrete block use and design



Building A uses alternating rows of concrete block and brick as an effective design for its podium structure. Building B uses CMU as the primary cladding material. The use of split-façade CMU's above each of the awnings and coupled with vertical columns (which employ black accent tiles for added interest)

E. Special conditions and limitations for metal siding. Metal siding may be used as a secondary cladding material (no more than 35 percent of the cladding for the façade and no more than 50 percent for other buildings elevations) if it is incorporated with other permitted materials and complies with the following provisions:

1. Metal siding shall not extend lower than two feet above the ground plane. Other durable material shall be incorporated below the metal siding plane.
 2. Metal siding shall be factory finished with a mill finish.
 3. Metal siding shall feature visible corner molding.
 4. Use of at least two colors of metal siding on the same building.
- DEPARTURES will be considered, provided the material's integration and overall façade composition meets the purpose of the standards.

Figure 25.71.640(E)

Acceptable metal siding



The buildings in Image A and B integrate a range of metal siding materials.

F. Special conditions and limitations for cementitious wall board paneling/siding. Such material may be used, provided it meets the following provisions:

1. No more than 30 percent of the façade's cladding and 40 percent of other building elevations cladding may be one texture and color of cement board.
2. Cement board paneling/siding may not be used on the ground floor of nonresidential or mixed-use buildings where adjacent to a sidewalk or other internal walkway.
3. Where cement board paneling/siding is used, the design shall integrate a mix of colors and/or textures that are articulated consistent with windows, balconies, and modulated building surfaces and are balanced with façade details that add visual interest from the ground level and adjacent buildings.

DEPARTURES will be considered, provided the material's integration and overall façade composition meets the purpose of the standards.

Figure 25.71.640(F)

Acceptable and unacceptable cementitious wall board examples.



The building on the left uses cement board in different textures and colors to help articulate the façade. The white color replicates the board and batten style in the left image and green color in the right image effectively replicates horizontal wood siding. The wall board panels covering a large area in a single color as in right image would not meet the purpose of the standards.

Next Steps

- Oct 9 – Community design provisions
- Develop land use goals and policies
- Develop implementing zoning provisions