



DUPONT OLD FORT LAKE DESIGN STANDARDS



First Draft – September 25, 2023

This is a preliminary first draft of the design standards for Old Fort Lake Subarea intended for Planning Commission review. It still includes a number of placeholder items and includes a number of gray colored comment boxes like below. These are intended to provide more background on the purpose of section and clarifying the content.

NOTE – Comment box

Note that we've included placeholders for future sections, such as Purpose and Applicability, Zoning Regulations, Community Design Regulations (which are intended to cover street design, connectivity, trails, and parks), and housing type standards. These are sections that will be developed later, but we are pointing out the proposal to integrate all the Old Fort Lake specific zoning and design provisions into one chapter.

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Chapter 25.71

Old Fort Lake Subarea Zoning & Design Standards

Purpose & Applicability

PLACEHOLDER INTRO CHAPTER – ASSUMING WE INTEGRATE ZONING AND COMMUNITY DESIGN PROVISIONS INTO CHAPTER. BELOW IS A CONTENT LIST

Sections:

- 25.70.000 Purpose.
- 25.70.010 Applicability.
- 25.70.020 How the provisions of this chapter are applied.
- 25.70.030 Departures.
- 25.70.040 Relationship to other codes.

Zoning Regulations

PLACEHOLDER INTRO CHAPTER – ASSUMING WE INTEGRATE ZONING PROVISIONS INTO CHAPTER. BELOW IS A CONTENT LIST

Sections:

- 25.71.100 Purpose.
- 25.71.110 District map.
- 25.71.120 Uses permitted in Old Fort Lake Subarea zones.
- 25.71.130 Dimensional regulations for Old Fort Lake Subarea zones.

Community Design Regulations

INTERIM PLACEHOLDER CONTENT – DRAWN FROM BOTHELL'S CANYON PARK SUBAREA - TO BE REFINED SPECIFIC TO OFL INCLUSION

Sections:

- 25.71.200 Purpose.
- 25.71.210 Provision of new streets.
- 25.71.220 Streetscape classifications and regulations.
- 25.71.230 Through-block connections.
- 25.71.240 Trails.
- 25.71.250 Off-street parking regulations.

Design Standards – Introduction

Sections:

- 25.71.300 Purpose.
- 25.71.310 Applicability.
- 25.71.320 How the design standards are applied.
- 25.71.330 Departures.

25.71.300 – Purpose.

The purpose of these commercial and multifamily design standards set forth in DMC sections 25.71.300-650 is to implement the goals and policies of the Old Fort Lake Subarea Plan and the objectives of each zone as provided in this title. Topic specific purpose statements are provided in each section of the design standards.

25.71.310 – Applicability.

A. New development.

1. The provisions of the design standards in DMC sections 25.71.300--650 govern all new multifamily, commercial, and other non-residential development within the Old Fort Lake Subarea.
2. These provisions do not apply to townhouses unless otherwise noted in DMC sections 25.71.300--650.

B. Relationship to other codes. Where the design standards provisions of DMC sections 25.71.300--650 conflict with provisions in any other section of the Dupont Municipal Code (DMC), the design standards prevail unless otherwise noted. One exception: Where these design standards conflict with applicable Wildland-Urban Interface standards, the Wildland-Urban Interface standards apply.

25.71.320 – How the design standards are applied.

The provisions of DMC sections 25.71.300--650 are additional to the underlying zoning standards (permitted uses, setbacks, building heights, etc.). Most design standards sections within this chapter herein include the following elements:

- A. Purpose statements, which are overarching objectives.
- B. Guidelines use words such as "should" or "is/are recommended," or "encouraged", signifying voluntary measures.
- C. Standards use words such as "shall" and "is/are required," signifying mandatory actions.
 1. Some standards are easily quantifiable, while others provide a level of discretion to the applicant in how they are complied with. In the latter case, the applicant shall demonstrate to the director, in writing, how the choices made for the development meets the purpose of the standard.
 2. Departures may be allowed for specific design standards. They allow alternative designs provided the director determines the resulting design and overall development meets

the "purpose" of the standards and other applicable criteria. See DMC 25.71.040 for related procedures associated with departures.

25.71.340 – Departures.

- A. Purpose. A number of specific departure opportunities to the design standards contained in DMC sections 25.71.300--650 are provided. Departure opportunities are signaled by the capitalized word DEPARTURE or the  symbol. The purpose is to provide applicants with the option of proposing alternative design treatments, when they can demonstrate to the satisfaction of the director that it is equal to or better than the standard, provided such departures meet the "purpose" of the particular standard, and any additional relevant departure criteria.
- B. Requests for departures are voluntary. This provision allows the flexibility for applicants to propose alternative designs on a voluntary basis.
- C. Applicability. Departure opportunities are available only where noted for specific standards.
- D. Procedures. Permit applications that include departure requests are reviewed administratively and the approval decision is made by the director.
- E. Approval criteria. Project applicants shall successfully demonstrate to the director how the proposed departure meets the purpose(s) of the standard, and other applicable departure criteria that applies to the specific standard.
- F. Documentation. The director shall document the reasons for approving all departures within the project application records for the purpose of providing consistency in decision-making by the city.

Design Standards – Block Frontages

NOTE: Block Frontages refer to the disposition of buildings and site development features visible from the street. Key elements are the building setbacks and orientation, ground level uses, and parking location.

25.71.400 – Purpose.

- A. Promote pedestrian-oriented development that builds on Dupont's existing design character and responds to Old Fort Lake's unique physical, historical, and cultural context.
- B. To create attractive, welcoming and safe streetscapes.
- C. To provide standards that recognize the need for a system of pedestrian-oriented block frontages.
- D. To create pedestrian-oriented neighborhood focal points.

Table 25.71.400
Summary of block frontage standards.

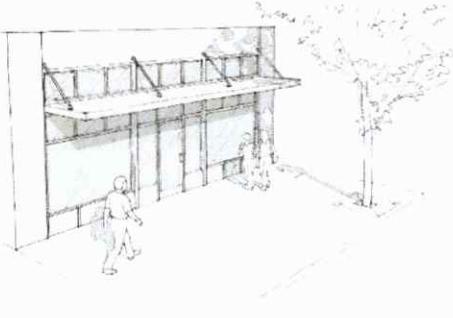
	Block Frontage Type	Details
Storefront		<ul style="list-style-type: none">• No ground-level parking adjacent to the street.• Special transparency, weather protection, and entry requirements.• Minimum commercial space height and depth.• No ground floor residential uses except for live/work units on select Storefront designated blocks where the storefront space meets height and depth standards.
Landscaped		<ul style="list-style-type: none">• Ground-level parking placed to the side or rear of buildings.• Landscaping to soften façades and buffer parking areas.• Minimum façade transparency requirements per use and setback.
Secondary	 <p>Storefront or Landscape Frontages allowed</p>	<ul style="list-style-type: none">• Ground-level parking placed to the side or rear of buildings.• Landscaping to soften façades of non-storefronts and buffer parking areas.• Minimum façade transparency requirements per use and setback.
Basic	 <p>Storefront or Landscape Frontages allowed</p>	<ul style="list-style-type: none">• No restrictions on parking lot location (except for landscaping standards).• Landscaping to soften façades of non-storefronts.

Table 25.71.400
Summary of block frontage standards.

		<ul style="list-style-type: none"> • Minimum façade transparency requirements per use and setback.
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25.71.410 – Block frontage designation mapping required, general rules.

NOTE: Since the developable portions of Old Fort Lake Subarea are somewhat of a blank slate, it is more appropriate that the required block frontage designation map will be prepared by the developer(s) in conjunction with a master plan (or if the City ultimately does not require a master plan, as part of the subdivision approval).

All master plans shall include a block frontage designation map. The following provisions apply:

NOTE: Until the names of the new Old Fort Lake zoning districts are determined, this draft is using "Mixed-Use" for the zone or zones that allow both commercial and multifamily development and "Business Park" for a zone that emphasizes such uses and does not allow for residential uses.

- A. Mixed-Use zones.** Mixed-use zones may utilize Storefront, Secondary, and Basic block frontage designations, but the following provisions apply.
 1. Storefront block frontage designation is required for a minimum of 20 percent of the streets within or bordering the zone.
 2. Basic block frontage designation is allowed for up to 20 percent of the streets within or bordering the zone.

DEPARTURES are allowed to relax the above requirements by no more than 50 percent, provided the reviewing authority determines that the block frontage designation plan helps to create a vibrant pedestrian-friendly mixed-use node that can meet the goals and policies of the Old Fort Lake Subarea Plan. For example, via departure, applicants may not reduce the percentage of Storefront block frontage designations in Mixed-Use zones to no less than 10 percent.
- B. Business Park zones.** Streets within and bordering the Business Park zone are subject to Basic block frontage provisions, except the minimum required landscaping buffers between the sidewalk and parking lots is increased to 15 feet.
- C. Residential development.** All applicable residential development in all zones and non-residential development in residential zones are subject to the Landscape block frontage designation. Exception: Residential developments adjacent to Secondary block frontage designations may utilize Storefront block frontage designs for leasing and common areas provided they comply with the Storefront block frontage standards. Leasing and common areas for multifamily residential developments may occupy ground level Storefront block frontage designated area, provided such areas comply with the Storefront block frontage standards.
- D. Civic uses, public buildings, and hotels** are exempt from the block frontage standards, provided the building and site design meet the following objectives:

- a. Enliven the pedestrian environment along the adjacent sidewalks.
- b. Incorporate a prominent and inviting entry visible from the street. If the site has multiple street frontages, the entry shall be visible from at least one street.
- c. The site and building design stand out from the surrounding context as a distinct landmark and provides visual interest from all observable scales.

E. Map updates. (option 1) The block frontage designation map will be updated by ordinance by the City Council as necessary to reflect new streets and other adjustments. (option 2) At the direction of City Council, the director is authorized to revise the block frontage designation maps. No unauthorized person may alter or modify the block frontage designation maps. The community development department shall maintain digital or printed copies of the block frontage designation maps and maintain records of superseded official maps.

F. Undesignated streets in Mixed-Use zone. If a street within the Mixed-Use zone is not designated as Storefront, Mixed, or Landscaped block frontage then it is automatically classified as a "Basic" block frontage. See section DMC 25.71.150 for applicable standards.

25.71.415 – About the transparency standards.

All block frontage designations contain distinct minimum façade transparency standards. The purposes of these standards are to help maintain visibility for public safety, create welcoming pedestrian-oriented streets, and facilitate a viable and attractive business environment. Table 25.71.415 below includes details in how transparency standards are measured.

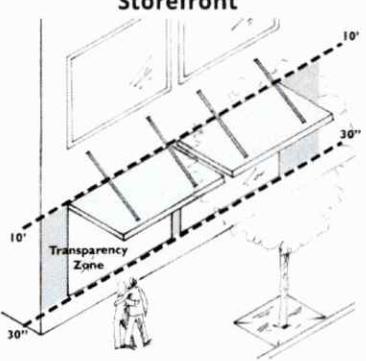
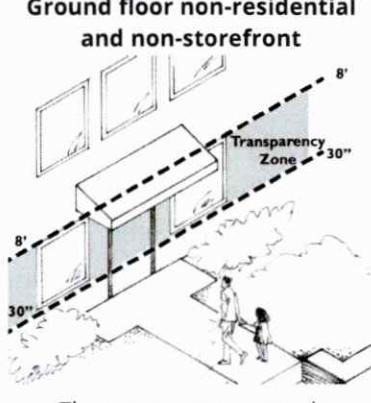
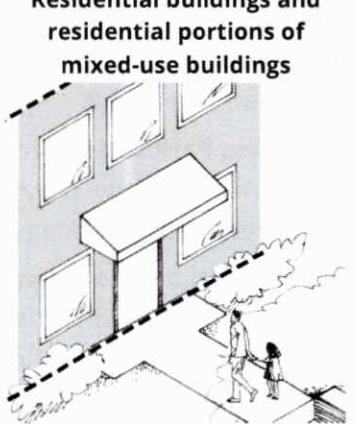
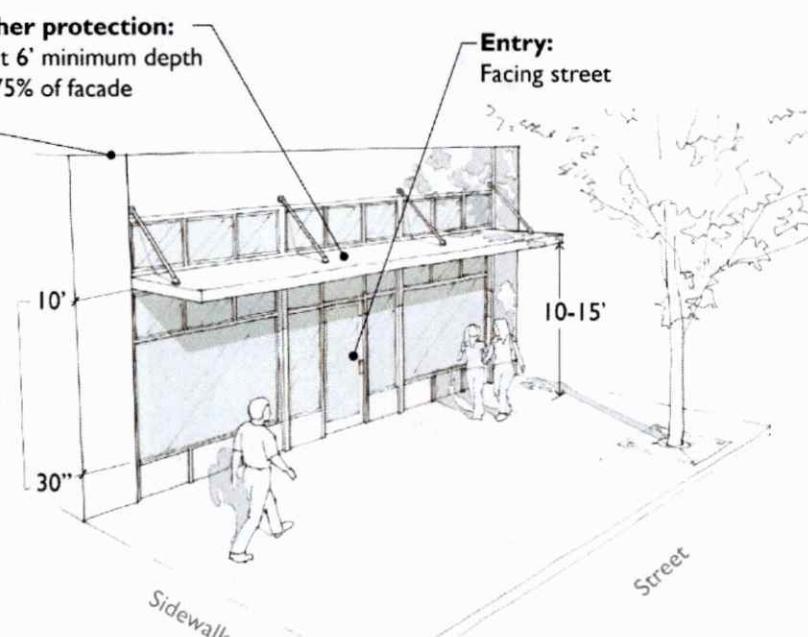
Table 25.71.415 Explanation of transparency standards.		
Transparency Zones by Building and Frontage Type		
<p>Storefront</p>  <p>The transparency zone is on the ground floor between 30 inches and 10 feet above sidewalk grade</p>	<p>Ground floor non-residential and non-storefront</p>  <p>The transparency zone is between 30 inches and 8 feet above grade</p>	<p>Residential buildings and residential portions of mixed-use buildings</p>  <p>All vertical surfaces of the façade are used in the calculations</p>
Other Transparency Provisions		

Table 25.71.415
Explanation of transparency standards.

<p>Windows shall be transparent. Ground level window area for storefronts and other non-residential uses that is mirrored, reflectively, darkly tinted, covered, frosted, or perforated in any manner that obscures visibility into the building shall not count as transparent window area. See also DMC 25.71.330(C)(2).</p> <p>Exception: Window signs may be counted as transparent window area provided the areas generally around the sign are transparent.</p>	 <p>Unacceptable: Frosted glass obscuring view into storefront.</p>	 <p>Unacceptable: Window sign covering transparency zone.</p>
<p>Display windows</p> <p>Display windows may be used for up to 50 percent of non-residential transparency requirements provided they are at least 30 inches deep and allow changeable displays. Tack-on display cases as in the right example do not qualify as transparent window area.</p>	 <p>Acceptable: Integrated display windows.</p>	 <p>Unacceptable: Tack-on display cases.</p>

25.71.420 – Storefront block frontage standards.

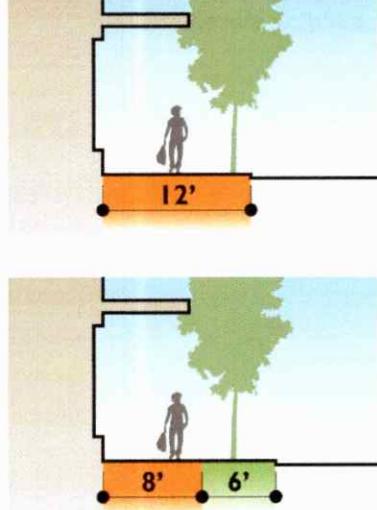
A. **Purpose.** Storefront block frontages are intended to be located in core neighborhood center areas featuring most vibrant and active shopping and dining areas within Old Fort Lake. Blocks designated as Storefront block frontages include continuous storefronts placed along the sidewalk edge with small scale shops and business entries.

Table 25.71.420(A) Storefront block frontages vision and key standards.	
<p>Weather protection: At least 6' minimum depth along 75% of facade</p> <p>Height: 13' minimum floor to ceiling</p> <p>Windows/transparency: At least 70% of facade between 30" and 10'</p>	

B. Standards. All development on sites with a Storefront block frontage designation shall comply with the standards in Table 25.71.120(B) below.

Table 25.71.420(B) Storefront block frontage standards.		
The ☺ symbol refers to DEPARTURE opportunities in DMC 25.71.420(C) below.		
Element	Standards	Additional Provisions and Examples
Ground Level		
Land use	Non-residential uses permitted by DMC 25.71.100-130 are required on the ground level.	Lobbies and accessory-uses associated with upper-floor hotel/motel, business service, and multifamily residential uses are allowed provided they are limited to 25% of all Storefront block frontages (measured separately for each block).
Floor to ceiling height	15' minimum	Applies to the area within the minimum retail space depth.
Retail space depth	40' minimum ☺	Applies to the entire width of the retail space.
Building placement	Buildings shall be placed at the back edge of the required sidewalk. Additional setbacks may be allowed for a wider sidewalk or where a public space is provided between the sidewalk and the building.	
Building entrances	Primary building entrances shall face the street. For corner buildings, primary entrances for ground-level uses may face either street or the street corner.	
Façade transparency	At least 60% of the transparency zone. ☺	Examples of building placement and building entrances.
Weather protection	Weather protection over the sidewalk is required along at least 60% of the building's façade, and it shall be a minimum of 6' deep (drip lines shall be at least that far from the face of the building). ☺ Additional standards:	<ul style="list-style-type: none"> • Vinyl or plastic awnings or canopies are prohibited. • Any canopy or awning over a public sidewalk should be a permanent architectural element.

Table 25.71.420(B)
Storefront block frontage standards.

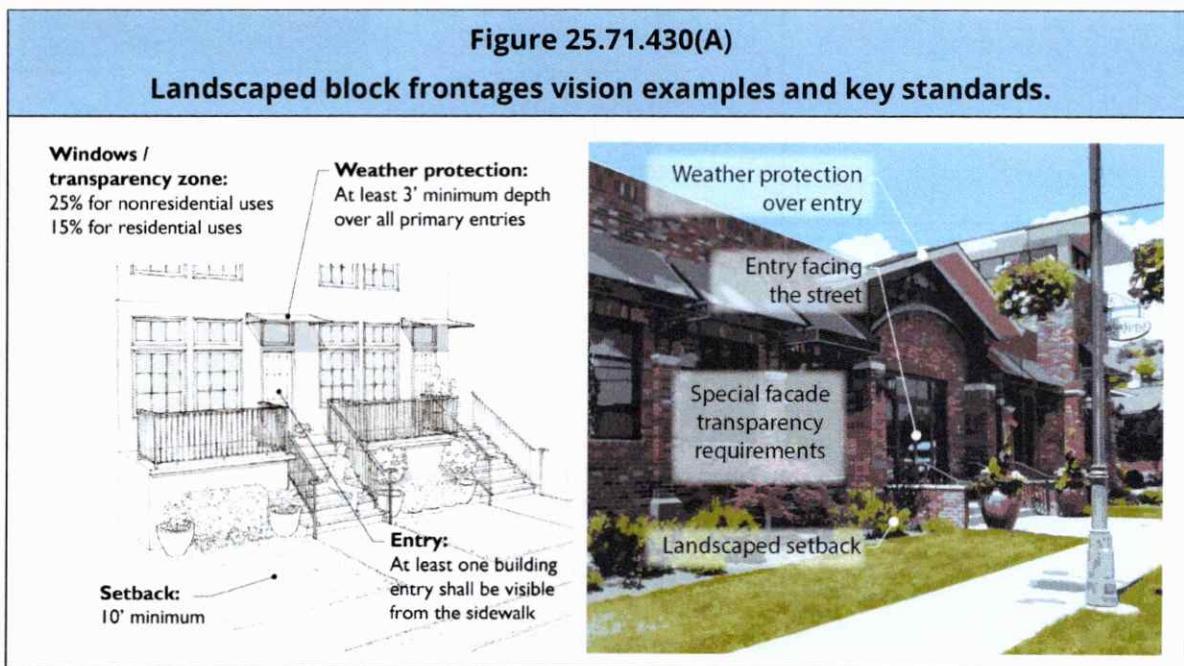
Element	Standards	Additional Provisions and Examples
	<ul style="list-style-type: none"> Weather protection shall have 10' to 15' of vertical clearance. Weather protection shall not interfere with existing street trees, utility poles, street signs, or extend beyond the edge of the sidewalk. 	<ul style="list-style-type: none"> The building's architectural details should not be concealed by awnings or canopies. Awning shapes should relate to the shape of the façade's architectural elements. Transparent canopies and under-canopy signs and lighting are encouraged.
Parking location	<p>New ground-level (surface or structured) parking adjacent to the street is prohibited, including parking lot and garage entries and driveways. Parking may be placed below, above, and/or behind storefronts.</p>	
Sidewalk width	<p>Minimum design options:</p> <ul style="list-style-type: none"> 14' minimum between the curb edge and the storefront, including 10' minimum walking surface width and trees are integrated in grates. 10' minimum sidewalk and 6' minimum planter strip. <p>Setbacks and utility easements shall also be considered and may result in a larger minimum sidewalk width.</p>	

C. DEPARTURE criteria. Departures from the storefront block frontage standards in Table 25.71.420(B) that feature the  symbol will be considered per DMC 25.71.340, provided the alternative proposal meets the purpose of the standards and the following criteria:

1. Retail space depth. Reduced depths on up to 25 percent of the applicable block frontage will be considered where the applicant can successfully demonstrate the proposed alternative design and configuration of the space is viable for a variety of permitted retail uses.
2. Façade transparency. Façade transparency may be reduced to a minimum of 40 percent if the façade design between ground-level windows provides visual interest to the pedestrian and mitigates the impacts of blank walls.
3. Weather protection. Weather protection elements may be reduced in length to no less than 50 percent along building's façade and to no less than four feet in depth, provided the proposed design is proportional to architectural features of the building and building design trade-offs (elements that clearly go beyond minimum building design regulations in this chapter) meet the purpose of the standards.

25.71.430 – Landscaped block frontage standards.

A. Purpose. Landscaped block frontages emphasize landscaped street setbacks, clear pedestrian connections between the building and the sidewalk, and minimize surface parking lots along the frontages.



B. Applicability. The standards herein apply to residential development in all zones and non-residential development in residential zones. Landscaped block frontages are also an optional design for development with ground floor non-residential uses along Secondary block frontages. Exception: Residential developments adjacent to Secondary block frontage designations may utilize Storefront block frontage designs for leasing and common areas

provided they comply with the Storefront block frontage standards. Leasing and common areas for multifamily residential developments may occupy ground level Storefront block frontage designated area, provided such areas comply with the Storefront block frontage standards.

C. Standards. All development on sites with a Landscaped block frontage designation shall comply with the standards in Table 25.71.130(B) below. The standards herein also apply to all multifamily and nonresidential development in the RMD and RHD zones.

Table 25.71.430(B) Landscaped block frontage standards.		
The  symbol refers to DEPARTURE opportunities in DMC 25.71.430(C) below.		
Element	Standards	Additional Provisions and Examples
Ground Level Land use	Any use permitted by DMC 25.71.100-130.	
Building placement	10' minimum setbacks are required. Additional standards: <ul style="list-style-type: none"> • 20' maximum setback. • Covered entries and porches are allowed to project up to 6' into this required setback. • Additional setbacks may be required where future right-of-way need and/or acquisitions have been identified in city plans. 	
Building entrances	At least one public or shared building entry shall be visible from the sidewalk and feature direct physical access from the sidewalk. 	Primary private entrances facing the street for ground level residential units are encouraged. See related standards in DMC 25.71.630.
Façade transparency	Shall have at least 25% transparency for buildings with ground level nonresidential uses.  Shall have at least 15% transparency for buildings with ground level residential uses.	See DMC 25.71.415 for additional clarification on transparency standards.
Weather protection	Weather protection at least 3' deep shall be provided over individual business and residential entries. Weather protection for shared entrances shall be at least 5' deep.	

Table 25.71.430(B)
Landscaped block frontage standards.

Element	Standards	Additional Provisions and Examples
Parking location	Parking shall be located to the side, under, or rear of buildings. For multi-building developments, no more than 50% of the lot frontage can be occupied by off-street parking and driveways. ☐	
Landscaping Also see DMC 25.71.580.	<p>All areas between the sidewalk and the building must be landscaped, except for pathways, porches, decks, and plazas. Such landscaping shall include a mixture of evergreen and deciduous trees, shrubs, and ground cover. Landscaped areas may include rain gardens and other forms of stormwater management.</p> <p>Parking lots developed adjacent to the street shall integrate a 10' wide landscape buffer with trees (75% deciduous @ 25' on-center), low shrubs (1/20sf of landscaped area), and ground cover. ☐</p>	
Sidewalk width	A six-foot sidewalk accompanied by a minimum five-foot landscape strip is required within the right-of-way adjacent to the front property line as well as adjoining arterial corridors.	

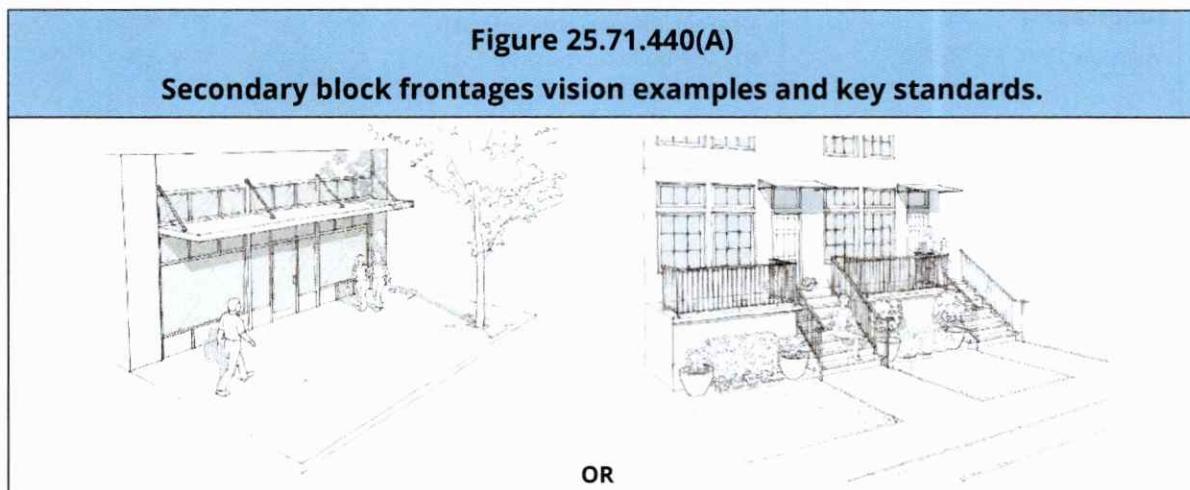
C. DEPARTURE criteria. Departures from the above standards that feature the ☐ symbol will be considered per DMC 25.71.340, provided the alternative proposal meets the purpose of the standards, plus the following criteria:

1. Façade transparency. Façade transparency may be reduced to a minimum of 12.5 percent if the façade design between ground level windows provides visual interest to the pedestrian and mitigates the impacts of blank walls.
2. Parking location. For multi-building developments, an additional 10% of the lot frontage may be occupied by off-street parking and driveways, provided design treatments (beyond minimum standards) are included that successfully mitigate the visual impact of parking areas on the streetscape.
3. Parking lot landscaping buffers. Landscaping buffers may be reduced to five feet in width provided they incorporate

- a. The required planting types in a concrete, masonry, or similar planter that is two to three feet tall.
- b. The required planting types in front of a low concrete, masonry, or similar wall between 24-42 inches tall or a see through trellis at least six feet tall.

25.71.440 – Secondary block frontage standards.

A. Purpose. The block frontage designation serves areas that accommodate a mixture of ground floor uses and allows a diversity of development frontages for the purpose of contributing to the visual character of the street and enhancing the pedestrian environment.



B. Standards. All development on sites containing a Secondary block frontage have the option to comply with either the Storefront or Landscaped block frontage provisions as set forth in DMC 25.71.420 and .430, with the modifications in Table 25.71.440(B) below.

Table 25.71.440(B)
Secondary block frontage standards.

Element	Standards	Additional Provisions and Examples
The ☺ symbol refers to DEPARTURE opportunities in DMC 25.71.440(C) below.		
Building placement	<p>Buildings placed up to the sidewalk edge shall meet storefront block frontage standards in DMC 25.71.430.</p> <p>Buildings not placed up to the sidewalk shall meet the landscaped block frontage standards in DMC 25.71.430.</p> <p>Additional setbacks may be required where future right-of-way need and/or acquisitions have been identified in city plans.</p>	See DMC 25.71.470 for special design provisions associated with ground level residential uses adjacent to a sidewalk.

Table 25.71.440(B)
Secondary block frontage standards.

Element	Standards	Additional Provisions and Examples
Façade transparency	<p>Any storefront buildings on these block frontages shall meet the storefront block frontage transparency standards above. </p> <p>Non-residential buildings with landscaped setbacks shall provide minimum transparency levels based on the setback:</p> <ul style="list-style-type: none"> • 40% minimum for buildings designed with nonresidential uses on the ground floor within 10' of sidewalk.  • 25% minimum for other buildings designed with nonresidential uses on the ground floor.  	<p>See DMC 25.71.415 for additional clarification on transparency standards.</p>
Parking location	<p>Parking shall be located to the side or rear of buildings. For multi-building developments, no more than 50% of the lot frontage can be occupied by off-street parking and driveways. </p> <p>Parking lots developed adjacent to the street shall comply with landscaping provisions of DMC Chapter 25.90.</p>	

C. Departure Criteria. Departures from the above standards that feature the  symbol will be considered per DMC 25.71.340, provided the alternative proposal meets the purpose of the standards and the following criteria:

1. Façade transparency. Façade transparency may be reduced to the following minimums if the façade design provides visual interest to the pedestrian and mitigates the impacts of blank walls:
 - a. 30 percent minimum for buildings designed with nonresidential uses on the ground floor within 10 feet of a sidewalk.
 - b. 15 percent minimum for other buildings designed with nonresidential uses on the ground floor.
2. Parking location. For multi-building developments, an additional 10 percent of the lot frontage may be occupied by off-street parking and driveways, provided design treatments (beyond minimum standards) are included that successfully mitigate the visual impact of parking areas on the streetscape.

25.71.450 - Basic block frontage (streets with no designated block frontage).

A. Purpose. Basic block frontages offer greater flexibility in siting off-street parking areas, while providing visual interest at all observable scales and meet the design objectives of the city.

B. Standards. All development on sites with a Basic block frontage designation shall comply with the standards in Table 25.71.450(B) below. DEPARTURES will be considered pursuant to DMC 25.71.340.

Table 25.71.450(B)
Basic block frontage standards.

The ☰ symbol refers to DEPARTURE opportunities in DMC 25.71.450(C) below.	
Element	Standards
Building placement	<p>Buildings placed up to the sidewalk edge shall meet storefront block frontage standards in DMC 25.71.430.</p> <p>Buildings not placed up to the sidewalk shall feature a 10' minimum street setback except where greater setbacks are required by the zone.</p>
Building entrances	<p>Building entrances facing the street are encouraged. At a minimum, at least one building entry visible and directly accessible from the street is required. ☰</p> <p>Where buildings are setback from the street, pedestrian connections from the sidewalk are required.</p>
Façade transparency	<ul style="list-style-type: none"> For storefronts, at least 60% ☰ Other buildings designed with non-residential uses on the ground floor within 10' of sidewalk, at least 30%. ☰ For residential buildings, at least 15%. ☰
Weather protection	At least 3' deep over primary business and residential entries.
Parking location	<p>There are no parking lot location restrictions, except for the following landscaped buffer requirements: Parking lots developed adjacent to the street shall integrate a 10' wide landscape buffer with trees (75% deciduous @ 25' on-center), low shrubs (1/20sf of landscaped area), and ground cover. ☰</p>
Landscaping	<p>Building setback areas shall be landscaped per DMC Chapter 25.90.</p> <p>Parking lots developed adjacent to the street shall comply with landscaping provisions of DMC Chapter 25.90.</p>
Sidewalk width	A 5' sidewalk accompanied by a minimum 5' landscape strip is required within the right-of-way adjacent to the front property line as well as adjoining arterial corridors.

C. Departure Criteria. Departures from the above standards that feature the ☰ symbol will be considered per DMC 25.71.340, provided the alternative proposal meets the purpose of the standards and the following criteria:

1. Building entrances. Alternative designs may be considered provided the pedestrian route from the sidewalk to the entry is clear.

2. Façade transparency. Façade transparency may be reduced to the following minimums if the façade design provides visual interest to the pedestrian and mitigates the impacts of blank walls:
 - a. For storefronts, at least 30 percent.
 - b. Other buildings designed with non-residential uses on the ground floor within 10 feet of a sidewalk, at least 15 percent.
 - c. For residential buildings, at least 7.5 percent.
3. Parking lot landscaping buffers. Landscaping buffers may be reduced to five feet in width provided they incorporate
 - a. The required planting types in a concrete, masonry, or similar planter that is two to three feet tall.
 - b. The required planting types in front of a low concrete, masonry, or similar wall between 24-42 inches tall or a see through trellis at least six feet tall.

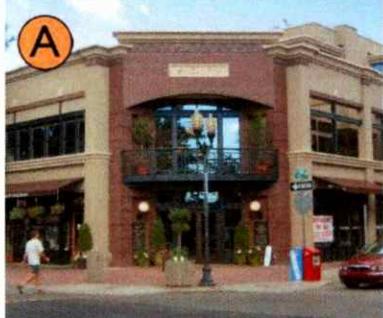
25.71.460 – High visibility street corner standards.

A. Mapping and purpose. High visibility street corners, including all street corners on Arterial streets in Mixed-Use zones and key neighborhood gateway locations when located in the Business Park zone, shall be identified in Master Plans. The purpose is to accentuate street corners with high visibility to the public.

B. Standards. Sites located on high visibility street corners shall meet the following requirements:

1. Buildings shall be located within 20 feet of the street corner.
2. At least one of the following special features shall be included:
 - a. Corner plaza.
 - b. Cropped building corner with a special entry feature.
 - c. Decorative use of building materials at the corner.
 - d. Distinctive façade articulation.
 - e. Sculptural architectural element.
 - f. Other decorative elements that meet the purpose of the standards.

Figure 25.71.460
High visibility street corner examples.



Building A features cropped building corners with a change in materials and decorative elements. Building B uses a decorative canopy. Building C incorporates a plaza at the corner.

25.71.470 – Ground floor residential frontage standards.

A. Purpose. The purpose of these standards is to:

1. Enhance the privacy and security of residents living on the ground floor.
2. Provide an effective visual and physical transition between the public realm and the private realm.
3. Enhance the relationship between the building and the street through high-quality landscape and architectural design.

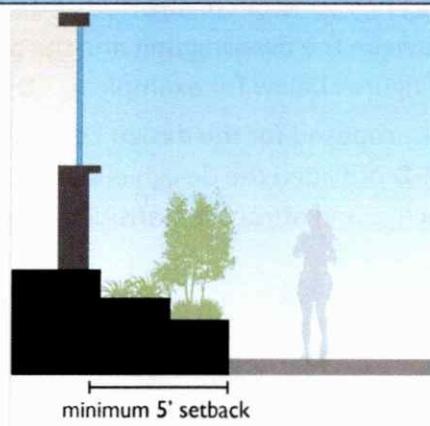
B. Applicability. All developments with ground-floor residential uses adjacent to public streets shall comply with the frontage standards in this section.

C. Standards. Design treatments shall be integrated to enhance the character of the public and semi-public realm while respecting the privacy of adjacent residential units. Design criteria applicable to ground-floor residential frontages are as follows:

1. Direct access. All units abutting public sidewalks are encouraged to have individual ground-floor entries directly accessible to the sidewalk.
2. Unit setback and elevation. Provide privacy for people living in the adjacent dwelling units and ensure the applicable street environment is comfortable through all of the following measures:
 - a. Provide a 5 feet minimum setback from public sidewalks, unless a greater setback is required per applicable block frontage standards.

Figure 25.71.470(C)(2)(a)

Minimum setback between a ground floor residence and public sidewalk.



- b. Where the façade is within ten feet of a street, the ground level of dwelling units shall be raised from three to five feet above the level of the corresponding sidewalk. On sloped sites, the minimum and maximum heights shall be calculated using the average ground elevation at perimeter walls as determined by the final grade noted on the building plan.

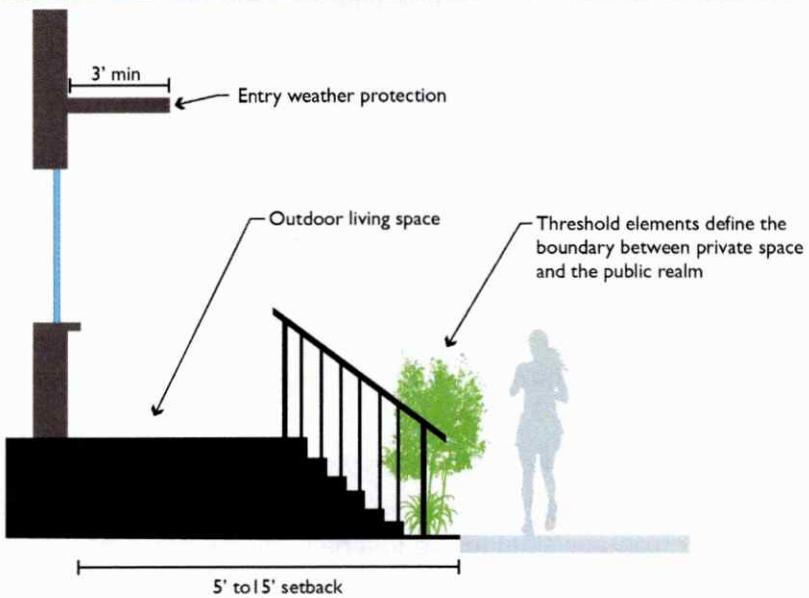
Figure 25.71.170(C)(2)(b)

Dimensional standards for elevating residential units near public streets.

Façade setback	Elevate the ground level of adjacent residential units
Front façade: < 10' from sidewalk (along a public street); or < 5' from an internal walkway or open space	2-5' above the grade of the public street

3. Enhance the privacy of residents and provide an effective transition between the public and private realm by integrating all of the following measures:
 - a. Provide a physical "threshold" feature, such as a hedge, retaining wall, rockery, stair, gate, railing, or a combination of such elements on private property that defines and bridges the boundary between public right of way and the private entry, porch, yard, or patio. Thresholds may screen, but not completely block, views to and from the public and semi-public realm areas. ☐
 - b. Provide an outdoor space at least four feet-deep and six feet wide (24 square feet minimum area) in the front setback, such as a porch, patio, deck, or stoop. Where feasible, this space shall be at the same level as the interior of the unit. ☐
Overhead building projections may cantilever over the outdoor space by up to 50 percent of the minimum ground level setback to public and private realm areas.
 - c. Provide a covered area, porch or protected entry space, or other architectural weather protection at least three feet deep that provides cover for a person entering the unit and a transitional space between outside and inside the dwelling.
 - d. Landscaping planters (in-ground or constructed and raised) shall be integrated into transitional areas between the dwelling unit and the adjacent public and semi-public realm areas (see the figures below for examples). ☐
 - e. DEPARTURES may be proposed for the design criteria in subsection (3) above featuring the symbol ☐ provided the design enhances the privacy of adjacent units and provides an effective and attractive transition between the public and private realm.

Figure 25.71.470(C)(3)
Good examples of ground-level residential frontages.



Above: Key features of ground level frontages with shallow setbacks.



Building A uses inset stoops and ground level planters. Building B uses stoops with terraced planters. Building C is an at-grade example with a fenced yard between the sidewalk and dwelling.

25.71.480 – Where properties front onto multiple streets.

Where a property fronts onto more than one street and each street has a different frontage designation, each building frontage shall comply with the standards for the block frontage upon which it fronts, with the following clarifications:

A. Conflicts. Where a conflict exists between frontage standards, the director will apply the standards of a block frontage pursuant to the following order of preference:

1. Storefront.
2. Secondary.
3. Landscaped.
4. Basic.

Subsections (B-E) below clarify how the order of preference works for particular frontage elements.

B. Building Location. For corner sites with Landscaped block frontage on one street and Storefront or Secondary on another, a Storefront frontage may wrap around the corner (on the Landscaped block frontage side) for up to a half block width or no more than 120 feet (whichever is more).

C. Entrances. For corner sites, entrances on both streets are encouraged, but only one entrance is required. For corner sites with frontage on a Storefront block frontage on one side, an entrance shall be placed on the Storefront block frontage side. For corner sites with a mix of designations that do not include a Storefront block frontage, the entry shall be placed on the side listed first in the order of preference identified above. An entrance at the building corner and facing an intersection shall be permitted under any of the above scenarios.

DEPARTURES may be considered, provided the location and design of the entry and block frontage treatments are compatible with the character of the area and enhance the character of the street.

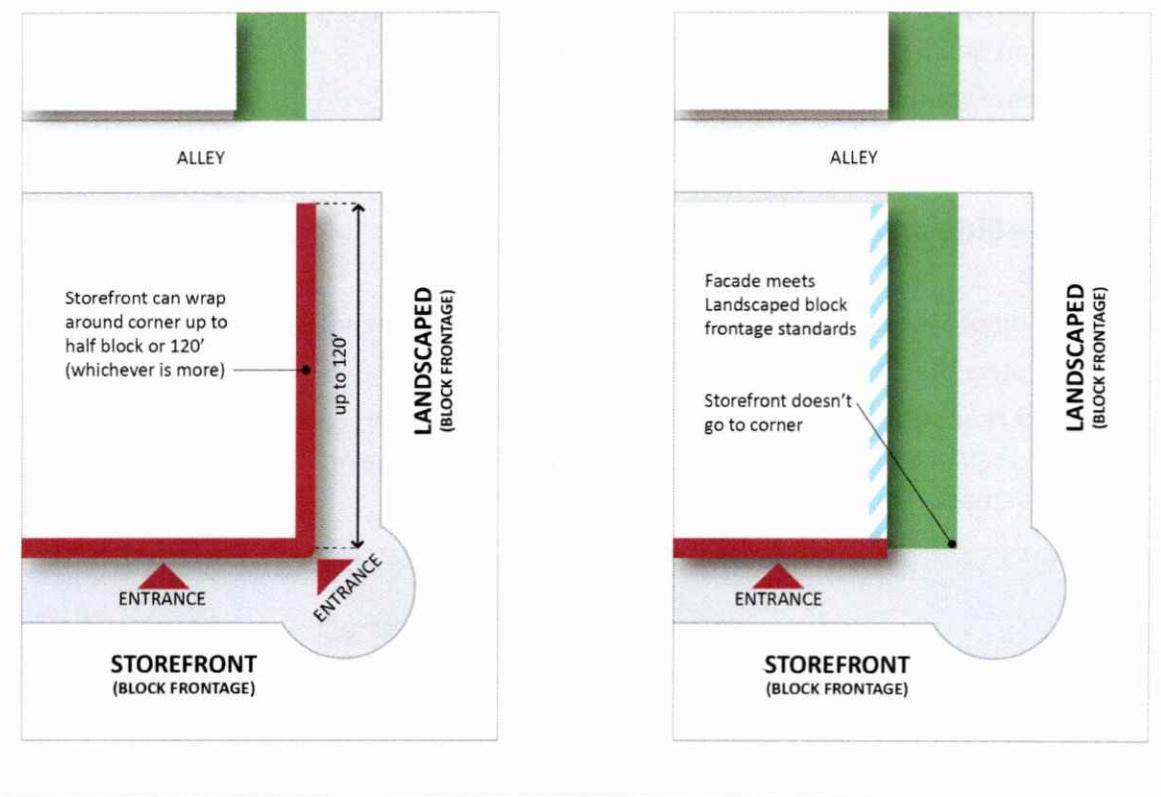
D. Transparency. For corner sites, at least one block frontage shall meet the applicable transparency standards (based on the order of preference above). For the second block frontage, the director may approve a reduction in the minimum amount of transparency by 50 percent. For street corners with the same designations on both frontages, buildings shall employ the full transparency on the dominant frontage (based on the frontage width or established neighborhood pattern).

E. Parking. Surface parking (including ground floor parking in a structure) adjacent to a street corner is not allowed, except:

1. On corner lots with Basic frontages on both streets.
2. On corners with other combination of block frontages, except those with a Storefront designation, via a DEPARTURE and subject to the applicable departure criteria.

Figure 25.71.480

Acceptable examples of where properties front onto multiple streets.



Design Standards - Site Planning

25.71.500 - Purpose.

- A. To promote thoughtful pedestrian-oriented layout of buildings, parking areas, and circulation, service, and on-site amenity elements.
- B. To promote compatibility between developments and uses.
- C. To enhance the circulation, access, and service areas of developments.

25.71.510 - Side and rear-yard setbacks.

A. Purpose.

1. To promote the functional and visual compatibility between developments.
2. To protect the privacy of residents on adjacent properties.

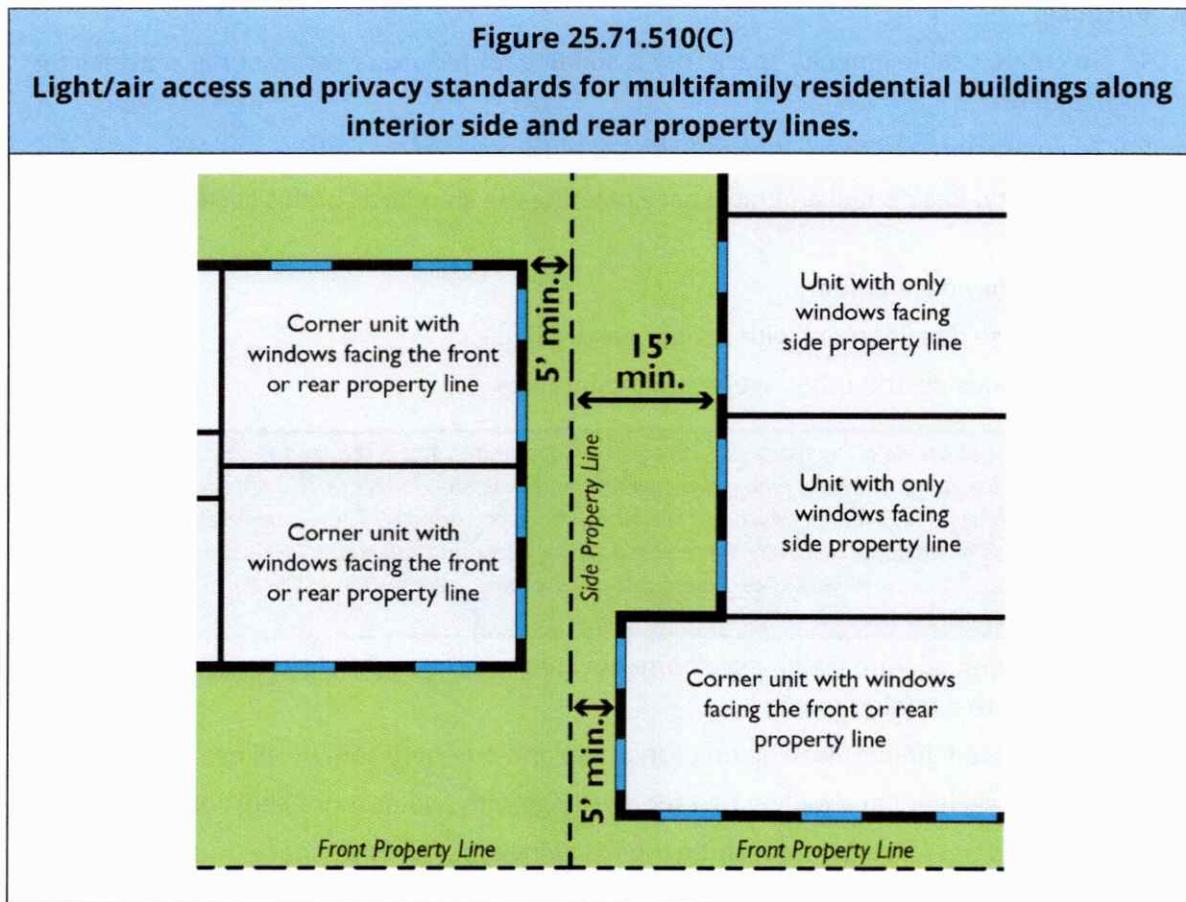
B. Side and rear setback standards.

Table 25.71.510(B) below sets forth minimum side and rear-yard setbacks in all zones between zero and 15 feet. The provisions below clarify specific setback requirements:

Table 25.71.510(B)
Minimum side- and rear-yard setbacks.

Context	Min. Setback
Two options for 0' setbacks when allowed by applicable zoning district in Table 25.71.130: (1) Buildings adjacent to an alley when permitted in applicable zoning district; or (2) Window-less firewalls along other side or rear property lines for storefront buildings located on and complying with Storefront or Secondary block frontages. Such firewalls are limited in height to 25 feet.	0'
When required per subsection (C) below for light and air access and privacy along the side and rear property lines.	15'
All other contexts (other than the two situations noted above)	5'

C. Light and air access and privacy along the side and rear property lines. Buildings or portions thereof containing multifamily dwelling units whose only windows face the interior side or rear property line shall be set back from the applicable property line at least 15 feet. DEPARTURES will be considered where it is determined that the proposed design will not create a compatibility problem based on the unique site context.



25.71.520 – Residential amenity space.

Residential amenity space refers to spaces that are integrated into residential or mixed-use developments primarily enjoyed by on-site residents for recreational and social uses. Amenity spaces include common outdoor recreation areas, shared roof decks, private ground level open spaces, private balconies, shared indoor recreation areas, and children's play areas.

A. Purpose.

1. To create usable amenity space that is suitable for leisure or recreational activities for residents.
2. To create amenity space that contributes to the residential setting.

B. Applicability.

Residential amenity space meeting the standards of this section is required for all new:

1. Multifamily development.
2. Mixed-use development with residential dwellings.
3. Senior housing and other age-restricted facilities.

NOTE: The amount of usable open space that is required is less than what is required by Pierce County. But the standards and quality of space that is required herein is high. These standards are also appropriate to more urban levels of development, some of which are served by structured parking. These standards are drawn from more than forty sets of residential amenity space standards developed throughout Washington State over the past 25-years. These amounts slightly larger than most other similar communities in the Puget Sound region that MAKERS has been involved with.

C. Amount required.

Applicable developments are required to provide residential amenity space equal to a minimum of:

1. 150 square feet per dwelling unit for studio and one-bedroom dwellings.
2. 200 square feet per dwelling unit for dwellings with two or more bedrooms.

The required open space may include the following types of open space:

Table 25.71.520(C)
Residential amenity space types.

Element Residential amenity space types	Standards
Common outdoor recreation areas See subsection (F)(1)	May be used for 100% of requirement
Shared roof decks See subsection (F)(2)	May be used for up to 25% of requirement for mixed-use buildings
Private ground level open space See subsection (F)(3)	May be used for 100% of requirement for applicable units
Private balconies See subsection (F)(4)	May be used for up to 25% of requirement
Shared indoor recreation areas See subsection (F)(5)	May be used for up to 25% of requirement for mixed-use buildings
Children's play areas See subsections (D) and (F)(6)	Required for developments with more than 75 units

D. Children's play areas. Developments with more than 75 units are required to integrate children's play areas as set forth in DMC 25.71.520(F)(6).

E. Large multi-phase developments under single ownership. Each phase of development shall meet the minimum residential amenity space requirements herein. Developments have the option to integrate a surplus of usable on-site open space in early phases and apply the surplus space towards meeting the requirements for subsequent phases, provided all applicable regulations are met.

F. Residential amenity space design standards. The following standards apply to new developments choosing to incorporate the specific amenity space types listed below.

1. Common outdoor recreation areas. Such spaces are internal to a development and accessible to all tenants of a development, and are not required to be accessible to the general public. Examples include, but are not limited to, include landscaped courtyards, decks, entrance plazas, gardens with walkways, children's play areas, swimming pools, and water features. Accessible areas with native vegetation and areas used for storm water retention, infiltration, or other multipurpose recreational and/or green spaces that meet the design criteria herein may qualify as common outdoor recreation area. Common outdoor recreation areas shall meet the following design standards:
 - a. The areas shall be accessible to all residents of the development.
 - b. The minimum area is 500 square feet. The space shall feature dimensions necessary to provide functional leisure or recreational activity (unless otherwise noted herein). Stairways and service elements located within or on the edge of the space are not included in the recreation area calculations.
 - c. Shared porches may qualify as recreation area, provided they are at least eight feet in depth and 96 square feet in area.
 - d. Required setback and vehicular circulation areas do not count as common outdoor recreation areas, except for building entry plazas located in front setbacks.
 - e. The area shall be located in accessible areas that are visible from units within the development.
 - f. The area shall feature paths, walkable lawns, landscaping, seating, lighting, play structures, sports courts, or other pedestrian amenities to make the area more functional and enjoyable for a range of users.
 - g. The area shall be separated from ground level windows, streets, vehicular circulation areas, service areas, and parking lots with landscaping, fencing, and/or other acceptable treatments that enhance safety and privacy for both the recreation areas and dwelling units.
 - h. Natural, artificial, and stormwater ponds may be included in the shared open space. A maximum of 50 percent of the pond surface area, as measured when the pond is at its maximum designed depth, may be counted towards the minimum requirements of subsection (C) of this section. Ponds shall be integrated with trails and other features listed above to qualify as shared open space.

- i. Any children's play areas integrated as a part of a common outdoor recreation area shall meet the standards of subsection (6) below.

DEPARTURES will be considered for the standards above provided they meet the purpose of the standards and fill a recreational need for the residents of the development. The use and design of the space shall be integrated with the surrounding site and building features in a manner that is complementary to the development and any adjacent streetscape.

Figure 25.71.520(F)(1)
Common outdoor recreation area examples.

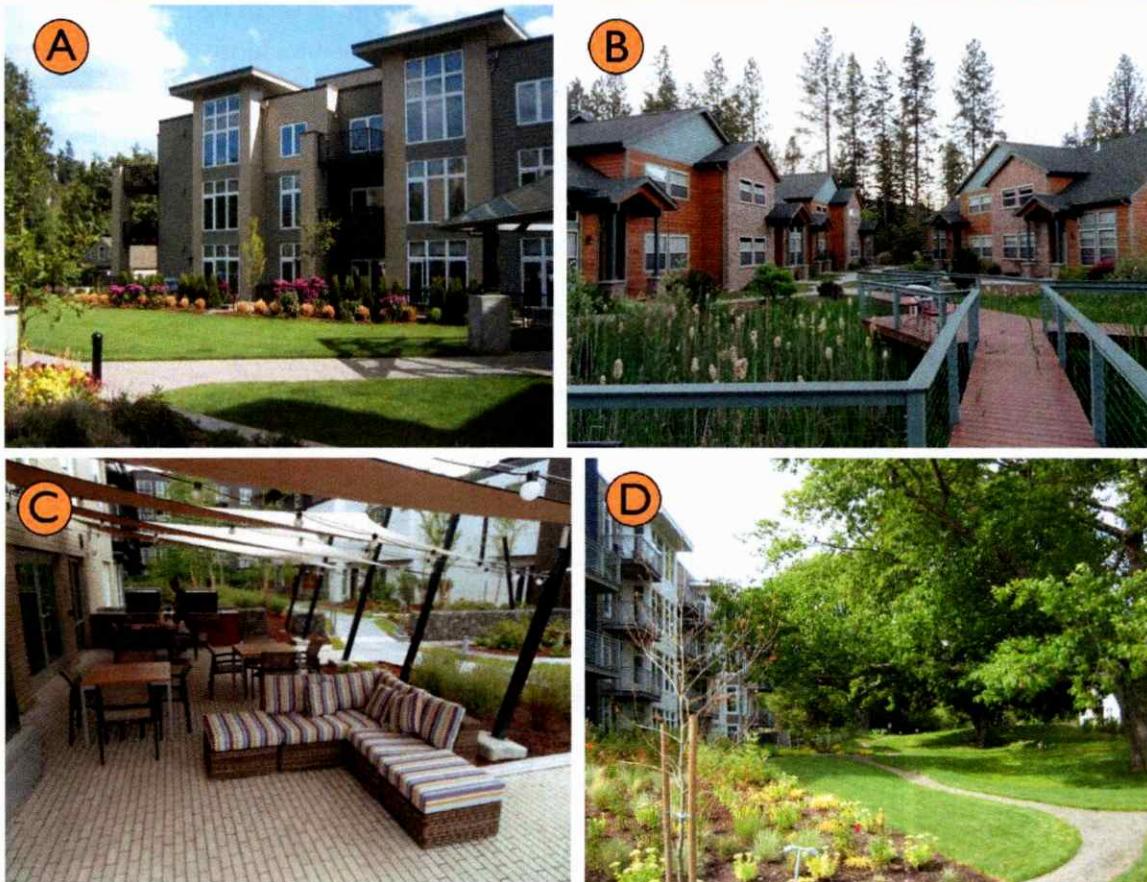


Image A includes a combination of open lawn area for informal recreation plus walkways and decorative landscape areas to enhance the setting for residents. Image B includes a pond/wetland type area with a boardwalk. Image C includes a covered gathering space with outdoor grills adjacent to a landscaped commons with a central walkway. Image D includes a common green area with large trees.

2. Shared roof decks. Such spaces are a type of private internal common area located on the top of buildings or intermediate levels (e.g. upper floor building facade step-back areas) and are available to all residents. Such spaces may be used to meet up to 25 percent of residential amenity space requirement for mixed-use buildings. Examples of amenities include, but are not limited to, cooking and dining areas, seating areas, gardening areas, water features, children's play areas, and pet play areas. Shared rooftop decks shall meet the following design standards:

- a. Shall be available to all residents.
- b. Space shall feature hard-surfacing and provide amenities that encourage use, such as seating, outdoor grills, and weather protection elements.
- c. Space shall integrate landscaping elements that enhance the character of the space and encourage its use.
- d. Space shall incorporate features that provide for the safety of residents, such as enclosures, railings, and appropriate lighting levels.

3. Private ground level open space. This space is adjacent and directly accessible to the subject unit. Examples include yards, stoops, and porches. Private ground level open space shall meet the following design standards:

- a. Such open spaces shall be enclosed by a fence and/or hedge at least 18 inches in height to qualify, but no higher than 42 inches when adjacent to a street, common outdoor recreation area, or public space (see the sight obstruction height limits of the Dupont Urban Services Standards and Guidelines Manual when near an intersection). Taller privacy screens between units are acceptable.
- b. Private porches that face a street or a common outdoor recreation area may qualify as amenity space, provided they are at least 50 square feet in area, with no dimension less than six feet.
- c. Ground level private open space in excess of minimum requirements in subsection (b) above shall not be used in the calculations for determining the minimum useable open space requirements for other units in the development [per DMC 25.71.520(C)].

4. Private balconies. This space is adjacent and directly accessible to the subject unit. Such spaces may be used to meet up to 25 percent of residential amenity space requirement. Private balconies shall meet the following design standards:

- a. Private balconies should be at least partially recessed into the building façade, when provided, and integrated into the building design to provide protection from the weather.
- b. Balconies shall be at least 36 square feet in area with no dimension less than six feet to qualify as amenity space.
- c. Individual balconies larger than the minimum size requirements in the preceding subsection (b) shall not be used in the calculations for determining the minimum useable open space requirements for other units in the development [per DMC 25.71.520(C)].

5. Shared indoor recreation areas. Examples include, but are not limited to, multi-purpose entertainment space, fitness center, movie theater, kitchen, library, workshop, conference room, or similar amenities that promote shared use and a sense of community. Such spaces may be used to meet up to 25 percent of residential amenity space requirement when in mixed-use buildings. Shared indoor recreation areas shall meet the following design standards:

- a. The space shall be accessible to all residents of the development.

- b. The minimum area is 250 square feet. The space shall feature dimensions necessary to provide functional leisure or recreational activity (unless otherwise noted herein).
- c. The space shall be located in a visible area, such as near an entrance, lobby, elevator bank, or high traffic corridors.
- d. The space shall be designed specifically to serve interior recreational functions and not merely be leftover unrentable space used to meet the open space requirement. Such space shall include amenities and design elements that will encourage use by residents.

6. Children's play areas. Any children's play areas integrated as a part of a shared residential amenity space shall meet all the following design standards (in addition to the design standards listed above):

- a. The minimum area is 400 square feet.
- b. Measures necessary to protect children's safety from vehicular traffic shall be included, such as low fencing or landscaping to provide a physical barrier around the perimeter.
- c. Shade and rest areas for supervision shall be provided by using deciduous landscaping, architectural elements (including but not limited to pergolas or shelters), or other means.
- d. Natural, creative play elements should be provided, such as ground slides from one level to another, tricycle tracks, swings hung from arbors or trees, paths that meander and are of varying materials and widths, water that can be manipulated, outdoor rooms made from landscape or rocks, and berms and hills.
- e. Play areas shall be designed for a variety of ages, activities, and motor skills.
- f. Play areas shall be located in areas that are highly visible to residents.

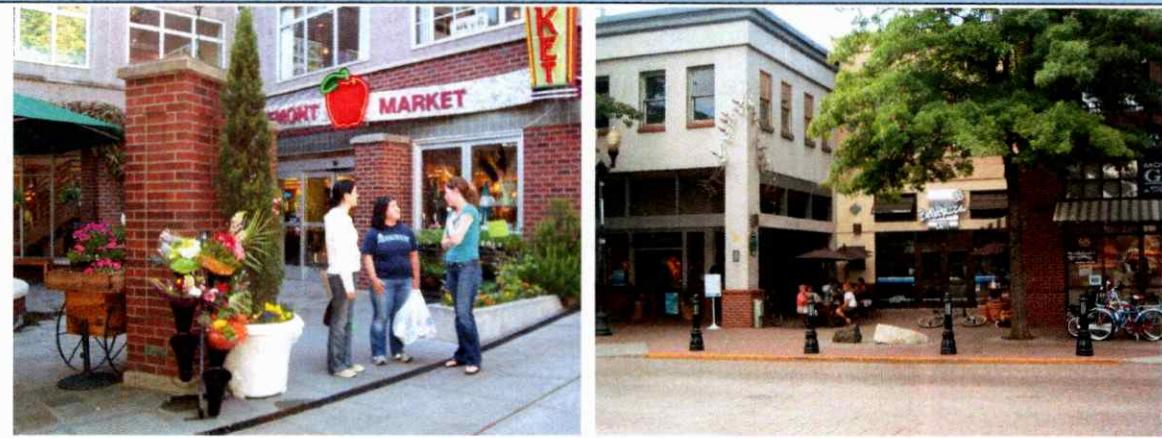
Figure 25.71.520(F)(6)
Children's play area example.



25.71.530 – Commercial open space.

- A. Purpose.** To integrate plazas and other pedestrian oriented spaces in commercial areas that enhance the employees' and public's opportunity for active and passive activities, such as dining, resting, people watching, and recreational activities
- B. Usable commercial open space.** New developments on designated Storefront block-frontages and other developments with non-residential uses with more than 10,000 square feet of gross floor area must provide 400 square feet of pedestrian-oriented space for each 100 lineal feet of block frontage. Pedestrian-oriented space located adjacent to street corners may be counted for the frontages of both streets. Portions of sidewalks that are wider than the minimum required in DMC 25.71.2xx may be used to meet up to 50 percent of this requirement.
- C. Design criteria.** Required usable commercial open space shall meet the following standards:
 - 1. Required features:
 - a. Visual and pedestrian access into the site from a street, private access road, or nonvehicular courtyard.
 - b. Paved walking surfaces of either concrete or approved unit paving. Form-in-place pervious concrete paving is allowed.
 - c. The spaces must be located in or adjacent to areas with significant pedestrian traffic to provide interest and security, such as adjacent to or visible from a building entry.
 - d. At least two feet of seating area (a bench or ledge at least 16 inches deep and appropriate seating height) or one individual seat per 60 square feet of plaza area or open space.
 - e. Landscaping components that add visual interest and do not act as a visual barrier. This could include planting beds, raised planters, and/or potted plants.
 - 2. Prohibited features:
 - a. Asphalt pavement.
 - b. Adjacent service areas (e.g., trash areas, loading docks) that are not separated with landscaping.
 - c. Adjacent chain-link fences.
 - d. Adjacent "blank walls" without "blank wall treatment" (see DMC 25.71.650).
 - e. Outdoor storage.

Figure 25.71.530
Good commercial open space examples.



25.71.540 – Internal pedestrian access and design.

A. Purpose.

1. To improve the pedestrian and bicycling environment by making it easier, safer, and more comfortable to walk or ride among residences, to businesses, to the street sidewalk, to transit stops, through parking lots, to adjacent properties, and connections throughout the city.
2. To enhance access to on- and off-site open space areas and pedestrian/bicycle paths.

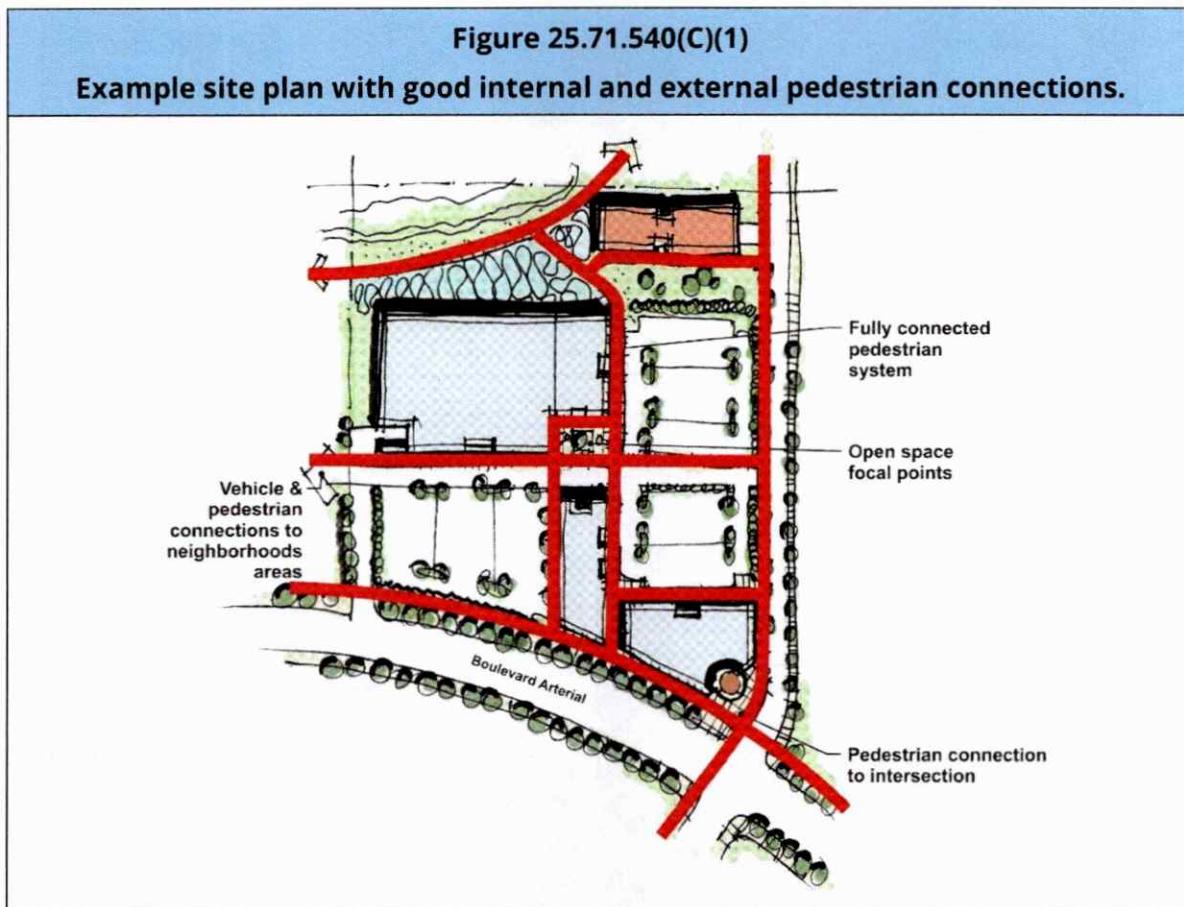
B. Access to sidewalk. All buildings shall feature pedestrian connections to a sidewalk per applicable block frontage standards in DMC 25.71.100-170. See subsection (D) below for walkway design standards.

Figure 25.71.540(B)
Good examples of direct pedestrian access to buildings from the street.



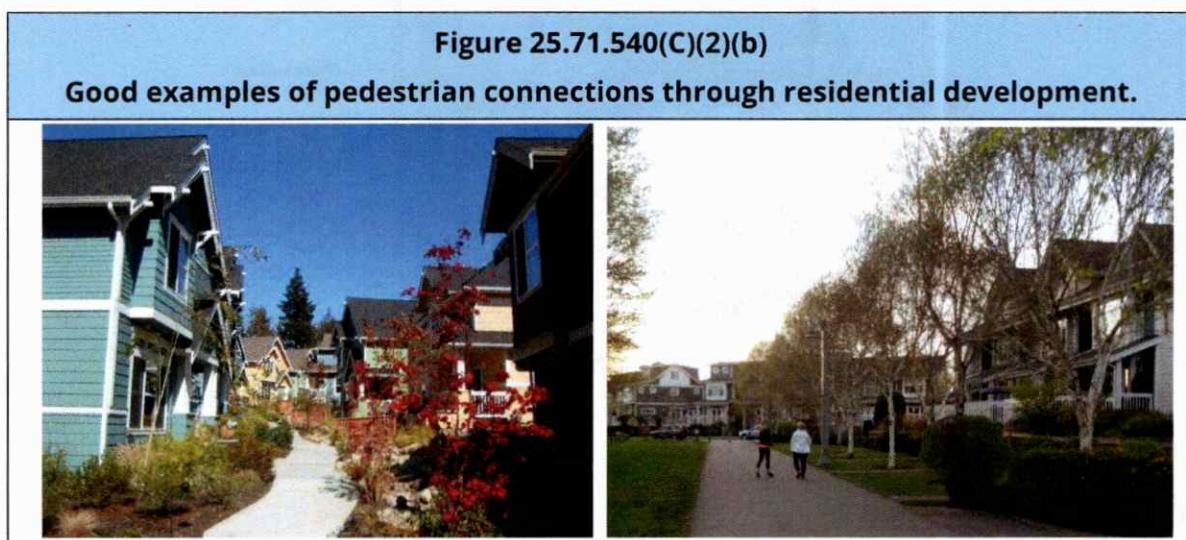
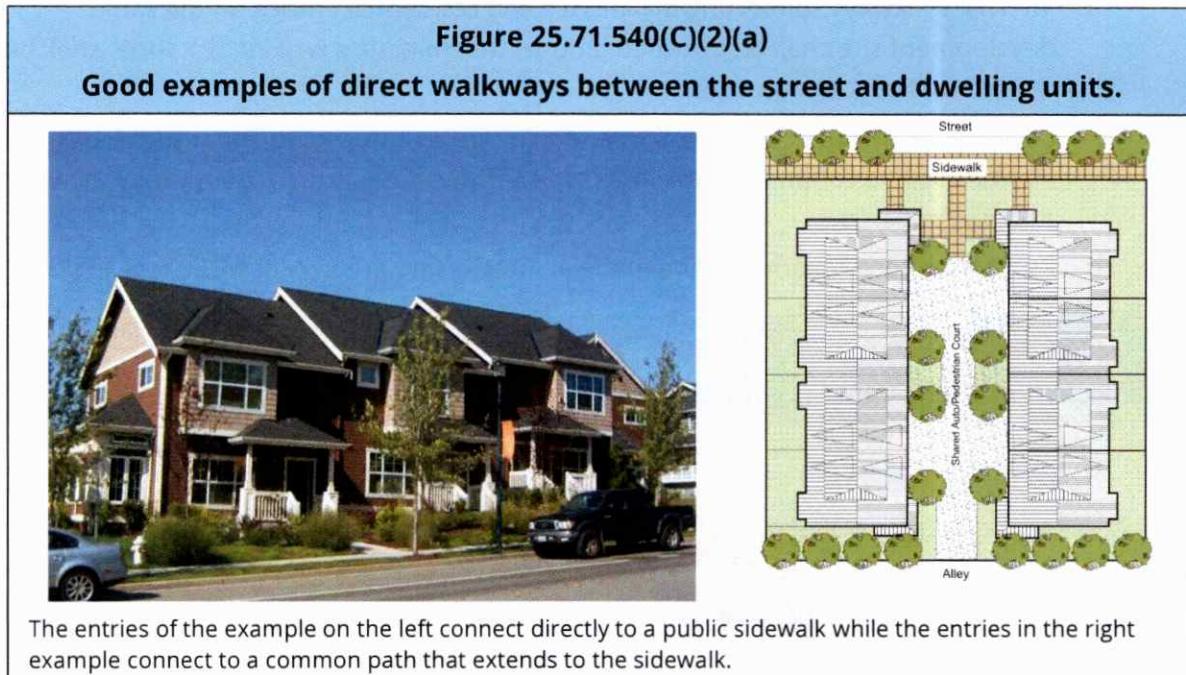
C. Internal circulation.

1. For sites with multiple buildings:
 - a. Internal walkways connecting businesses and residential entries on the same development site shall be provided. Routes that minimize walking distances shall be utilized to the extent practical.
DEPARTURES will be considered where an indirect route would enhance the design and/or use of a common usable open space. See subsection (D) below for walkway design standards.
 - b. Pedestrian connections shall be made at intervals no greater than 250 feet.



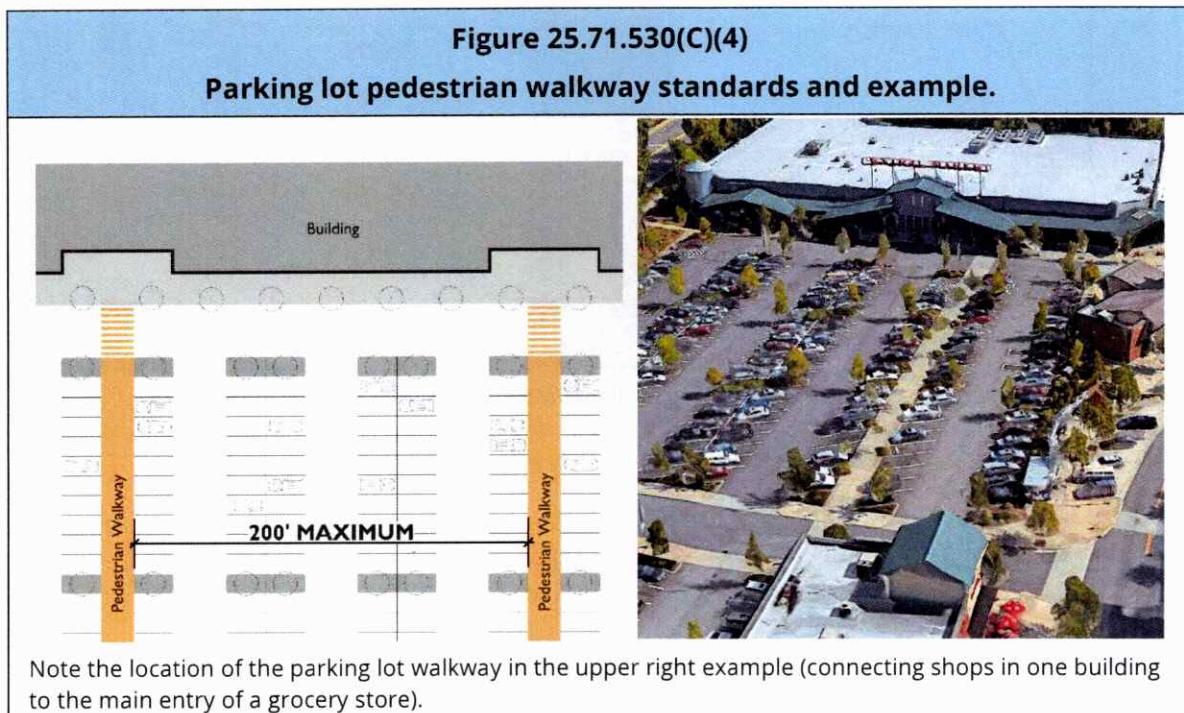
2. Sites with residential units. Direct pedestrian access shall be provided between all ground level unit entries and a public street or to a clearly marked walkway network or open space that has direct access to a public street. Residential developments shall provide a pedestrian circulation network that connects all main entrances on the site to other areas of the site, such as:
 - a. Parking areas.
 - b. Recreational areas.
 - c. Common outdoor areas.
 - d. Any pedestrian amenities.

For townhouses or other residential units fronting the street, the sidewalk may be used to meet this standard.



3. Crosswalks. Crosswalks are required when a walkway crosses an on-site paved area accessible to vehicles.
 - a. Appearance. All crosswalks shall contain contrasting material (such as concrete) and/or patterns (such as stamped asphalt), excluding painted surfaces.
 - b. Raised crosswalks (speed tables). On sites larger than one acre, all crosswalks near major building entrances, parking garage entries, vehicular entries to the site, and other high-traffic areas shall be vertically raised to sidewalk level. The purpose of raised crosswalks is to provide a continuous walking or rolling surface, increase the visibility of pedestrians, and slow the speed of vehicular traffic. This requirement does not apply to crosswalks crossing public roadways.

- Pedestrian walkways through parking lots. Developments with 50 or more parking spaces shall include specially marked or paved walkways through parking areas. At least one walkway shall be provided for every four rows of parking, or at a maximum spacing of 200 feet. The walkways shall provide a safe connection to the building entrance and meet the walkway design standards in subsection (D) of this section. See examples below.

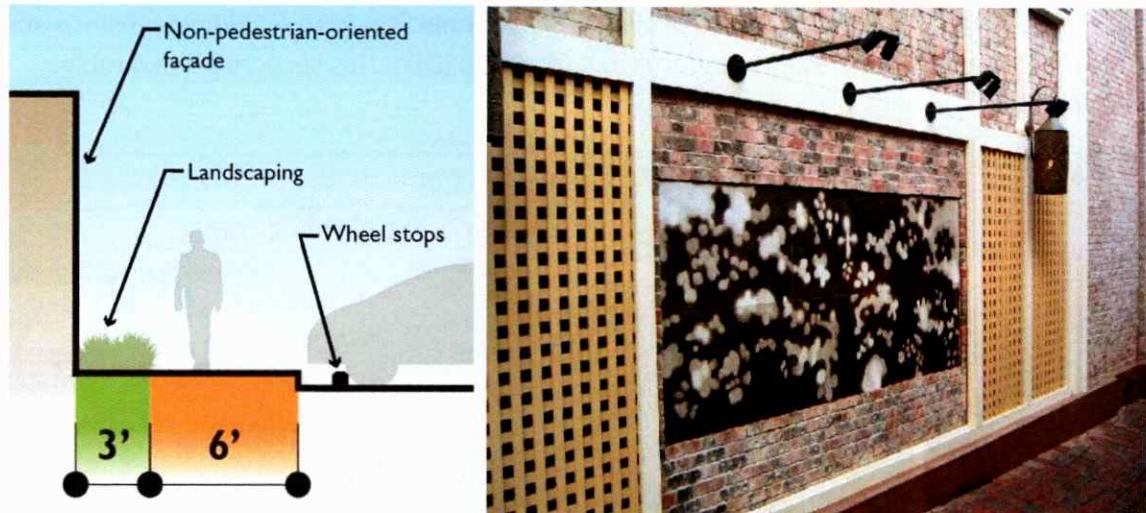


D. Walkway design.

- All internal walkways shall have a minimum six feet-wide unobstructed walking surface, except where wider walkways are prescribed elsewhere in this chapter or where the applicable uses and context dictate wider walkways.
- Where an internal walkway is adjacent to perpendicular or angled parking, wheel stops are required to prevent encroachment of parked vehicles over the walkway. In lieu of wheel stops, an extra two feet of walkway width shall be provided. See DMC 25.71.240(B) for other situations in which wheel stops or curbing may be required.
- Internal walkways shall be separated from structures by at least three feet for landscaping except where the adjacent building façade meets the storefront block frontage standards per DMC 25.71.420.

DEPARTURES will be considered where other landscaping and/or façade design treatments to provide attractive walkways are proposed. Examples include, but are not limited to, sculptural, mosaic, bas-relief artwork, or other decorative treatments that meet the purpose. Figure 25.71.530(D)(3) below provides one example.

Figure 25.71.530(D)(3)
Standards for internal walkways adjacent to buildings.



Internal walkways adjacent to building walls that do not meet storefront façade standards shall provide at least three feet of landscaping to enhance the character of the walkway. The reviewing authority will consider alternative treatments, such as decorative walls (right example).

4. Where walkways are between a parking lot and a multi-tenant commercial or mixed-use building which is 100 feet or more long, walkways shall feature a 12-foot wide sidewalk with the following features:
 - a. Eight feet minimum unobstructed width.
 - b. Trees placed at an average of 50 feet on-center and placed in grates or in planting strips as set forth in subsection (c) below.

DEPARTURE: Breaks in the tree coverage will be considered near building entries to enhance visibility.
 - c. Planting strips may be used between any vehicle access or parking area and the walkway; provided, that the trees required above are included, the walkway meets the applicable width standards herein, and the combined walkway and planting strip is at least 12 feet wide.

25.71.550 – Vehicular circulation and parking.

The standards herein supplement the provisions of the Dupont Public Works Standards Manual. Where there is a conflict, the provisions herein apply, except that the City Engineer may override this requirement and apply the Public Works standard for a driveway if the Public Works Director finds that a failure to apply the Public Works standards will result in a threat to public safety.

A. Purpose.

1. To create a safe, convenient, and efficient network for vehicle circulation and parking.
2. To enhance the visual character of interior access roads.
3. To minimize conflicts with pedestrian circulation and activity.

B. Driveways. Driveways shall meet the standards of the Dupont Public Works Standards Manual, including, but not limited to, standards for intersection spacing, distance from crosswalks, and width.

C. Parking entry location. Parking lot and parking garage entries shall provide vehicular access in the following order of preference:

1. Alleys.
2. Basic block frontage streets.
3. Landscaped block frontage streets.
4. Secondary block frontage streets.

See related standards for parking location in DMC 25.71.400-480, Block Frontage Standards.

D. Garage and service area entries and pedestrian safety.

1. Parking garage entries and service area entries shall be well-integrated into the design of the building and shall not dominate the streetscape. They should be designed and sited to complement, not subordinate, the pedestrian entry.
2. Where vehicles enter and exit a parking garage or service area across a sidewalk or internal walkway, direct visibility between pedestrians and motorists shall be provided. Treatments shall include setback entries, cropped wall corners, wall openings, or other treatments to enhance safety and visibility. Treatments should also include pavement markings or changes in pavement materials. Mirrors and electronic visual/audio warnings alone are not acceptable methods of visibility.
3. Parking garage entries are encouraged to have flat driveways behind the sidewalk for the length of at least one vehicle in order to enhance visibility between pedestrians and motorists exiting the garage. Steeply sloping driveways immediately adjacent to a sidewalk or internal walkway require greater application of visibility treatments described in (D)(2) above.
4. Garage entry doors and gates, if provided, shall be at least 50 percent transparent between the bottom and top of the door or gate in order to enhance the safety of garage users.

25.71.560 – Service areas and mechanical equipment.

A. Purpose.

1. To minimize adverse visual, odor, fumes, and noise impacts of mechanical equipment, utility cabinets and other service areas at ground and roof levels.
2. To provide adequate, durable, well-maintained, and accessible service and equipment areas.
3. To protect residential uses and adjacent properties from impacts due to location and utilization of service areas.

B. Location of ground-level service areas and mechanical equipment. Ground-level building service areas and mechanical equipment includes loading docks, trash collection and compactors, dumpster areas, storage tanks, electrical panels, HVAC equipment, and other utility equipment. If any such elements are outside the building envelope at ground level, the following location standards apply:

1. Service areas shall be located for convenient service access while avoiding negative visual, auditory, olfactory, or physical impacts on the streetscape environment and adjacent residentially zoned properties.
2. Service areas shall not be visible from the sidewalk and adjacent properties. Where the director finds that the only option for locating a service area is an area visible from a public right-of-way, resident/customer parking area, internal walkway or pedestrian area, or from an adjacent property, the service area shall be screened with the structural and landscaping screening measures provided in subsection (C) below.
3. Service areas for multiple users or tenants shall be co-located or consolidated to the extent practical.
4. Service areas shall be sited for alley access if available. Service elements accessible from an alley are exempt from the screening requirements of this section.
5. Trash collection areas shall include roofs or overhead weather protection and shall meet required stormwater standards. Drainage shall be designed to meet applicable NPDES standards.
6. Exterior loading areas for commercial uses shall not be located within 20 feet of a residentially zoned property.

DEPARTURE: Exterior commercial loading areas are exempt from this standard if the reviewing authority finds such a restriction does not allow feasible development and alternative design measures can successfully mitigate potential negative impacts. For example, areas and drives may be required to be separated from the residential lot by a masonry wall at least eight feet high.

7. Other provisions of this section notwithstanding, service areas used by residents shall be located to avoid entrapment areas and other conditions where personal security is potentially a problem. Pedestrian-scaled lighting or other measures may be needed to enhance security.
8. Noise-producing mechanical equipment, such as fans, heat pumps, etc., shall be located and/or shielded to minimize sounds and reduce impacts to adjacent dwelling units.

9. Dumpster storage areas shall be provided for all development, located on site and not in the public right-of-way, and sized to accommodate the minimum dumpster sizes (as provided by the Dupont engineering standards).

C. Screening of ground-level service areas and mechanical equipment. Where screening of ground level service areas is required [see subsection (2)(b) of this section], the following applies:

1. Structural enclosures shall be constructed of masonry, heavy-gauge metal, heavy timber, or other decay-resistant material that is also used with the architecture of the main building. Alternative materials other than those used for the main building are permitted if the finishes are similar in color and texture, or if the proposed enclosure materials are more durable than those for the main structure. The walls shall be sufficient to provide full screening from the affected roadway, pedestrian areas, or adjacent use, but shall be no greater than seven feet tall. The enclosure may use overlapping walls as a screening method. See Figure 25.71.250(C) below.
2. Gates shall be made of heavy-gauge, sight-obscuring material. Chain link or chain link with slats is not an acceptable material for enclosures or gates.
3. Where the interior of a service enclosures is visible from surrounding streets, walkways, or residential units, an opaque or semi-opaque horizontal cover or screen shall be used to mitigate unsightly views. The horizontal screen/cover should be integrated into the enclosure design (in terms of materials and/or design).
4. Trash collection points shall be located and configured so that the enclosure gate swing does not obstruct pedestrian or vehicle vehicular traffic, or does not require that a hauling truck project into any public right-of-way. Screening elements shall allow for efficient service delivery and removal operations.
5. The service area shall be paved.
6. The sides and rear of service enclosures shall be screened with landscaping at least five feet wide in locations visible from the street, parking lots, and walkways to soften views of the screening element and add visual interest. Plants shall be arranged with a minimum of 50 percent coverage at time of installation and be able to grow to fully screen or shield the equipment within three years.

DEPARTURES will be considered, provided the enclosure and landscaping treatment meet the purpose of the standards and add visual interest to site users.

Figure 25.71.560(C)
Acceptable trash screening enclosures.



All examples use durable and attractive enclosures with trees and shrubs to soften views of the enclosures from the side. Image C and D use a trellis and weather protection structure on top – a desirable feature particularly where the top of the enclosures are visible from surrounding buildings, streets, and walkways (due to topography or building heights).

D. Utility meters, electrical conduit, and other service utility apparatus. These elements shall be located and/or designed to minimize their visibility to the public. Project designers are strongly encouraged to coordinate with applicable service providers early in the design process to determine the best approach in meeting these standards. If such elements are mounted in a location visible from the street, internal walkway, common outdoor recreation area, or shared auto courtyards, they shall be screened with vegetation and/or integrated into the building's architecture.

Figure 25.71.560(D)
Utility meter location and screening - good and bad examples.



Place utility meters in less visible locations. Images A and C are successfully tucked away in a less visible location and/or screened by vegetation. Images B and D are poorly executed and would not be permitted in such visible locations. Such meters shall be coordinated and better integrated with the architecture of the building.

E. Roof-mounted mechanical equipment.

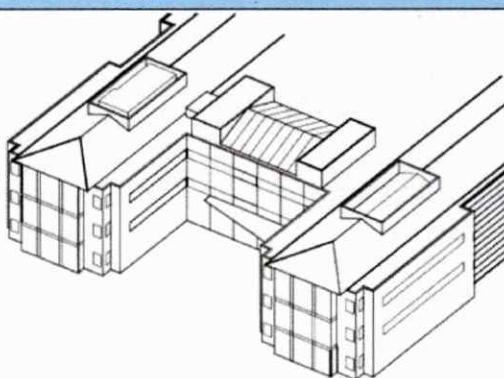
1. All rooftop mechanical equipment, including air conditioners, heaters, vents, and similar equipment shall be fully screened from public view at the street level and from rooftop residential amenity spaces. Screening shall be located so as not to interfere with operation of the equipment.

Exception: Roof-mounted wind turbines, solar energy and photovoltaic systems, and rainwater reuse systems do not require screening.

2. For rooftop equipment, all screening devices shall be well integrated into the architectural design through such elements as parapet walls, false roofs, roof wells, clerestories, or equipment rooms. Screening walls or unit-mounted screening is allowed but less desirable. Wood shall not be used for screens or enclosures. Louvered designs are acceptable if consistent with building design style.
3. The screening materials shall be of material requiring minimal maintenance and shall be as high as the equipment being screened.
4. Noise producing mechanical equipment, such as fans, heat pumps, etc., shall be located and/or shielded to minimize sounds and reduce impacts to adjacent dwelling units.

Figure 25.71.560(E)

Examples of how to screen roof-mounted mechanical equipment.



The left illustration shows how rooftop mechanical equipment can be located and screened effectively. The right image shows effective location and screening, including side walls and a trellis to screen views from taller surrounding buildings.

25.71.570 – Site lighting.

A. Purpose.

1. To ensure that lighting contributes to the character of the streetscape and does not disturb adjacent developments and residences.
2. Protect against light pollution, thereby reclaiming the ability to view the night sky and helping to preserve the quality of life and scenic value of this desirable visual resource throughout the region and nearby natural open spaces.
3. Help protect and enhance human health and wellness and wildlife habitation and migration by minimizing light pollution and its impact on all forms of life.
4. Promote lighting practices and systems to conserve energy, decrease dependence on fossil fuels, and limit greenhouse gas emissions.
5. Ensure that sufficient lighting can be provided where needed to promote safety and security on public and private property, and to allow for reasonable lighting for outdoor activities.
6. Provide attractive lighting that supports and enhances the urban environment, emphasizes architectural elements, and encourage pedestrian activity and wayfinding beyond daylight hours, especially during the long nights of Pacific Northwest winters.

B. Applicability. All outdoor lighting shall comply with the provisions herein, unless otherwise exempted. This includes, but is not limited to, new lighting, replacement lighting, additions and alterations, or any other lighting whether attached to buildings, poles, structures, the earth, or any other location.

1. The following types of lighting are exempt from the provisions of this section:
 - a. Lighting solely for signs.
 - b. Underwater lighting.
 - c. Temporary and seasonal cord-and-plug portable lighting.
 - d. Construction or emergency lighting.
 - e. Outdoor rope and string lights for outdoor seating and gathering areas.

C. General standards.

1. All luminaires shall be fully shielded and shall not emit light into the upper hemisphere around the luminaire or onto adjacent properties and structures, either through exterior full cut-off shields or through optics within the fixture. Support and mounting systems for luminaires shall not allow post-installation adjustments that could defeat compliance of this requirement.
2. City-approved standardized fixtures shall be used for sidewalk lighting located within the right-of-way or publicly accessible easements on private property.
3. On-site lighting elements throughout and surrounding the site should be complementary, including internal walkway lighting, accent and parking lot lighting, and lighting of adjacent developments and the public right-of-way.

4. Except as provided in this section, outdoor lighting is encouraged to follow the intensity, technology, and other recommendations of the International Dark Sky Association and the Illuminating Engineering Society of North America.

D. Height.

1. Freestanding lighting fixtures in parking lots shall not exceed 20 feet in height. Lighting fixtures on the top level of parking garages shall not exceed 12 feet in height.
2. Pedestrian scale lighting shall not exceed 16 feet in height.
3. Building-mounted exterior lighting shall not be placed at any point greater than 20 feet above the adjacent grade, except the height limit is 14 feet when within 100 feet of a residential zone. This standard does not apply to fully recessed lights, such as when mounted on the underside of a gas station fueling canopy or a building roof overhang.
4. Building-mounted exterior lighting for roof decks is permitted provided the luminaires are located at least 10 feet horizontally from the edge of the roof.
5. Recreational facility lighting heights are dependent on the facility design. Such lights must be designed to limit the light spill to adjacent properties to no more than 1.0 foot candle.

Figure 25.71.570(D)
Examples of site lighting.



E. Parking lot lighting. Lighting in parking lots shall be appropriate to create adequate visibility at night and evenly distributed to increase security. Lighting shall be located so that trees within the parking lot do not obscure the operation of the light fixture.

F. Lighting color (chromaticity). The correlated color temperature of all outdoor lighting shall be 3,500 Kelvin maximum or lower (refer to American National Standard Institutes publication C78.377 for guidance on LED lighting). Exceptions may be made for architectural floodlighting, accent lighting, or outlining.

G. Exterior lighting controls.

1. Automated control systems, such as energy management systems, photoelectric switches, motion sensors, and astronomic timer switches, shall be used to meet the hours of operation requirements and the technical and energy efficiency requirements of the applicable Washington State Energy Code.

2. Exceptions:
 - a. Egress lighting as required by the Building Code.
 - b. Lighting required for accessibility.
 - c. Lighting required by statute, law, or ordinance to operate all night.
 - d. A manual override at each exit door is allowed regardless of automatic control device.
 - e. Seasonal holiday lighting and event lighting.

H. Decorative lighting is permitted and should be limited to meet the purpose of this section.

Consider dimming or curfews for such lighting after midnight. Such lighting includes:

1. Landscape lighting.
2. Architectural floodlighting, accent lighting, and outlining.
3. Lighting to illuminate flags, public art, water features, and similar edifices.
4. Outdoor rope and string lights for outdoor seating and gathering areas.

I. Prohibited lighting.

1. Dynamic lighting.
2. Luminaires exceeding 500,000 peak candelas and/or 500,000 lumens.
3. Laser lighting.
4. Any lighting of undeveloped environmentally sensitive areas.
5. Any lighting that may be confused with warning signals, emergency signals, or traffic signals.
6. Mercury, low pressure sodium, or other light sources in public areas that can impede or distort the perception of actual colors.
7. Blinking, flashing, intermittent, and/or moving lights unless specifically allowed elsewhere in the Dupont Municipal Code.
8. Lighting permanently attached to trees.

25.71.580 – Landscaping.

A. Purpose.

1. To emphasize landscaping as one of the character-defining features of the Old Fort Lake Subarea.
2. To accommodate flexibility for the total amount of landscaped area for mixed-use and multifamily areas.

B. Wildland-Urban Interface standards.

Old Fort Lake Subarea is within defined Wildland-Urban Interface areas and are thus subject to special landscaping standards for such areas. Where these landscaping standards conflict with applicable Wildland-Urban Interface standards, the Wildland-Urban Interface standards apply.

NOTE: Standards below are subject to environmental cleanup provisions under review in the EIS and may need to be modified consistent with findings.

C. Standards.

Applicable developments are subject to the landscaping provisions of DMC Chapter 25.90, with the following exceptions:

1. Minimum landscaped area for multifamily areas where more than 50 percent of the off-street parking is contained within or under buildings shall be 25 percent.
2. Minimum landscaped area for mixed-use areas where more than 50 percent of the off-street parking is contained within or under buildings shall be 15 percent.

The following landscaped types and credits may be used by those multifamily and mixed-use developments set forth in subsections (1) and (2) above to meet the standards:

3. Ground level planting beds qualify as landscaped surfaces at a 100 percent rate. Ground level planting area that supports trees (which will require greater soil volumes) may qualify for bonus credit. Specifically, planting areas that support a large tree (height greater than 30 feet at maturity) may be counted at a 200 percent rate (includes planting area under projected dripline at maturity) and planting areas that support a medium sized tree (height greater than 15 feet at maturity) may be counted at 150 percent rate. Terraced or other raised planting surfaces qualify as landscaped surfaces at the same rates as ground level planting beds depending on the soil volume capable of supporting only ground cover plants qualify at a 50 percent rate].
4. Green roof. Green roofs qualify as a landscaped surface at a 50 percent rate (i.e., two square feet of green roof qualifies as one square foot of landscaped area) provided they comply with Wildland-Urban Interface standards. Green roof areas with soil depths greater than 12 inches and planned to support large shrubs and trees qualify as a landscaped surface at a 100 percent rate.

D. Other landscaping standards

are set forth in the following sections:

1. Block frontage standards of DMC 25.71.430-470.
2. Most of the site planning standards of DMC 25.71.510-560.
3. Blank wall treatment standards of DMC 25.71.650.

Design Standards - Building Design

25.71.600 - Purpose.

This section provides standards to promote buildings with an architectural character that reflects the envisioned Old Fort Lake aesthetic and is based on human-scaled design details, durable high-quality materials, and responds uniquely to the site's context. See the individual "purpose" statements under each section.

25.71.610 - Building character and variety.

A. Purpose.

1. To avoid generic, corporate architectural design that degrades the character and identity of Dupont.
2. To avoid monotonous repetition of the same building forms, materials, and colors in larger developments.

B. Corporate architecture prohibited. Architecture that is defined predominately by corporate identity features and is difficult to adapt to other uses is prohibited. For example, some franchise convenience uses have very specific architectural features (such as a distinctive roofline design that functions as a sign) that reinforce their identity. As tenants change in these types of buildings, these corporate identity features can negatively impact the character of the area and identity of new tenants. These features can also be very expensive to reconfigure and adapt to new uses.

C. Building design variety. Buildings in multi-building developments shall visibly vary in at least one significant aspect so that they are clearly not identical as viewed from public streets. Aspects can include forms, massing and the composition and articulation of exterior building materials, fenestration patterns, building entries, weather protection features, and rooflines.

25.71.620 – Building massing and articulation.

A. Purpose. This section contains standards that affect the massing of buildings through façade design articulation, façade width, and roofline design. The purpose of this section is:

1. To employ architectural elements (like windows, balconies, entries, etc.) that create a complementary pattern or rhythm, dividing large buildings into smaller identifiable pieces.
2. To integrate substantial articulated/modulated features on large buildings to break up the massing and add visual interest.

B. Exemptions. Buildings with less than 50 horizontal feet of façade are exempt from the standards in this section.

C. Façade articulation. Façade articulation to create a human-scaled pattern is required for street-facing building façades and other building elevations facing parks, containing primary building entrances, and adjacent to lower intensity zones. Articulation features are listed in subsection (D).

For non-residential buildings and non-residential portions of mixed-use buildings, at least three articulation features shall be employed at intervals no greater than 40 feet in the Mixed Use zone, and 60 feet in the Business Park zone.

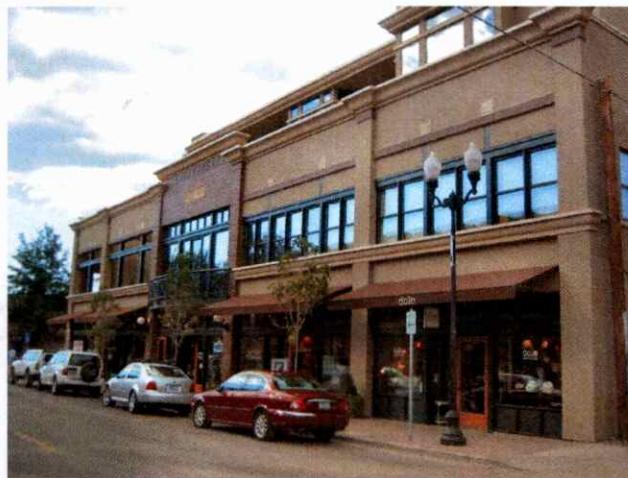
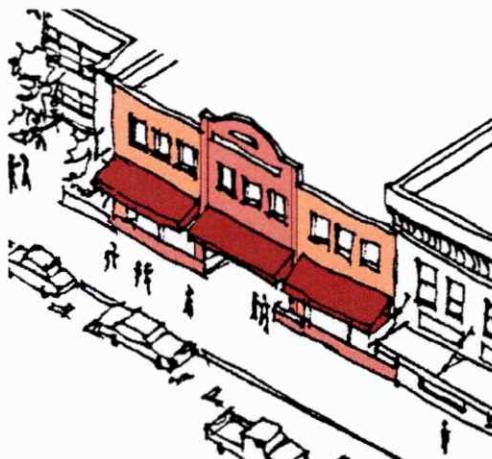
Townhouse buildings, multifamily buildings, and residential portions of mixed-use buildings façades in all applicable zones shall employ at least three articulation features at intervals that relate to the location/size of individual units within the building (or no more than every 50 feet).

D. Articulation features to meet the standards of (C) above include:

1. Use of window patterns and/or entries that reinforce an articulation pattern.
2. Use of awnings or similar weather protection features (not applicable to residential buildings).
3. Use of vertical piers/columns.
4. Change in roofline with a difference in height, slope or pitch, direction, or shape (such as towers or dormers).
5. Change in building material or siding style.
6. Use of vertical building modulation of at least 12 inches in depth if tied to a change in roofline per subsection (4) of this section or a change in building material, siding style, or color. On residential buildings balconies may be used to qualify for this option if they are recessed or projected from the façade by at least 18 inches. Juliet balconies or other balconies that appear to be tacked on to the façade will not qualify for this option unless they employ high quality materials and effectively meet the purpose of the standards.
7. Other design techniques that effectively break up the massing of structures and add visual interest.

DEPARTURE: Other articulation features may be approved, provided they meet the purpose of the standards and the design criteria set forth in subsection (D) of this section.

Figure 25.71.620(D)(1)
Non-residential articulation examples.



The left image uses window patterns, weather protection elements, and roofline modulation. The photo example to the right also includes window patterns and weather protection along with a change in masonry texture and color to articulate the façade. The lower example illustrates how a multitenant retail building can successfully be articulated (windows, weather protection, vertical building modulation, and roofline changes).

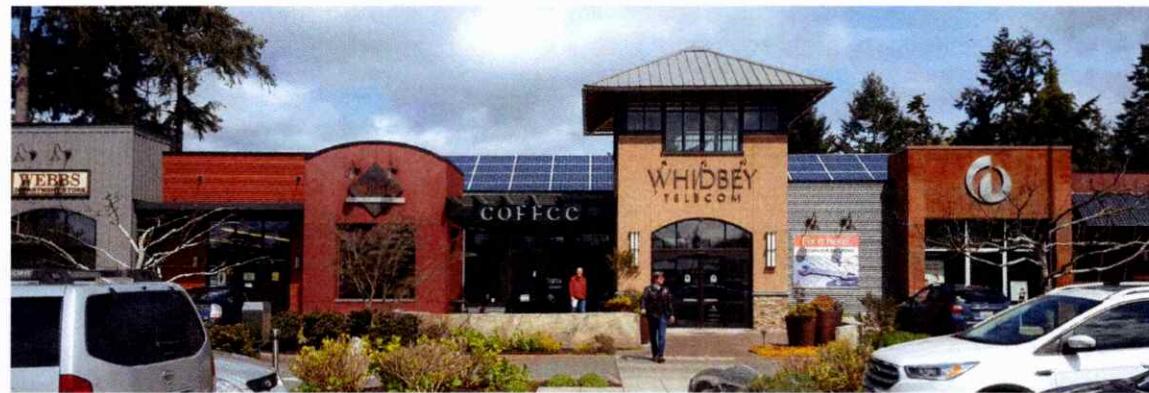
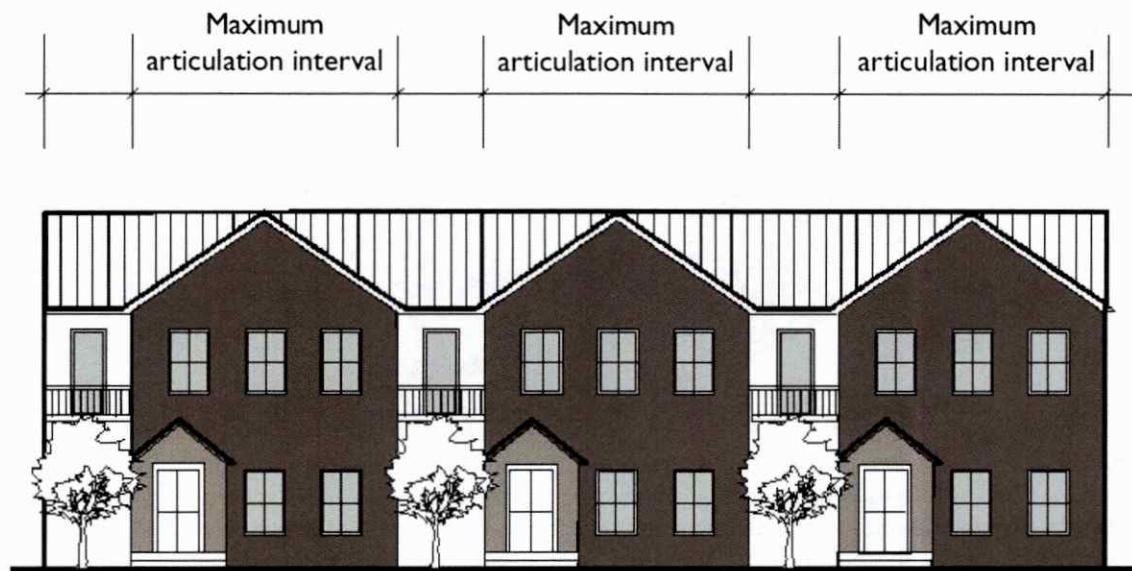


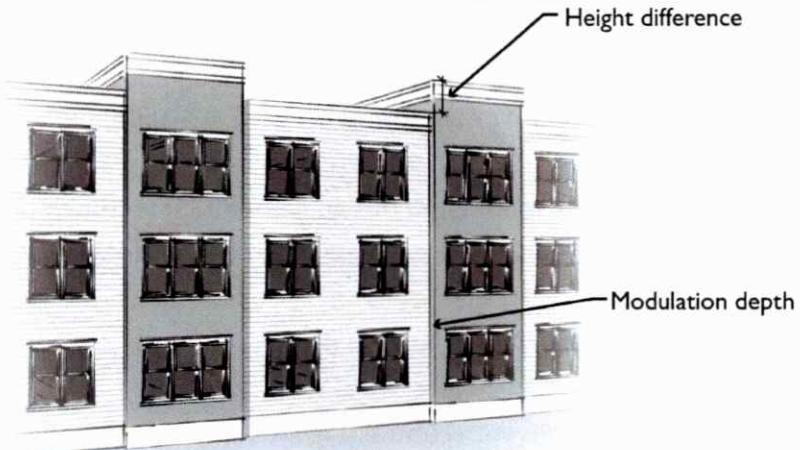
Figure 25.71.620(D)(2)
Residential articulation examples.



Below Image A uses a combination of vertical building modulation, window patterns, material changes, and roofline modulation. Image B is unacceptable.



Figure 25.71.620(D)(3)
Acceptable examples of roofline modulation.



Roofline modulation qualifies as an articulation feature when combined with vertical building modulation techniques.



The left building illustrates a pitched roof example and the right building illustrates a flat roof example.

E. Departure criteria associated with articulation standards. Proposals shall meet the purpose of the standards. The following criteria will be considered in determining whether the proposed articulation treatment meets the "purpose":

1. The type and width of the proposed articulation treatment and how effective it is in meeting the purpose given the building's context.
2. The applicable block frontage designation. Basic block frontages warrant more flexibility than block frontages designated as Secondary or landscaped.
3. The size and width of the building. Smaller buildings warrant greater flexibility than larger buildings.
4. The quality of façade materials in concert with doors, windows, and other façade features and their ability to add visual interest to the street from a pedestrian scale and more distant observable scales.

F. Maximum façade width. Street-facing building facades and other building elevations facing lower intensity zone edge must include at least one of the following features to break up the massing of the building and add visual interest. This standard applies to applicable building elevations wider than 120-feet (wider than 200-feet in the Business Park zone).

1. Provide vertical building modulation at least six-feet deep and 15-feet wide. For multi-story buildings, the modulation must extend through at least one-half of the building floors.
2. Use of a contrasting vertical modulated design component featuring all of the following:
 - a. Utilizes a change in building materials that effectively contrast from the rest of the façade.
 - b. Component is modulated vertically from the rest of the façade by an average of six-inches.
3. Façade employs building walls with contrasting articulation that make it appear like multiple distinct buildings. To qualify for this option, these contrasting façades must employ all of the following:
 - a. Different building materials and/or configuration of building materials.
 - b. Contrasting window design (sizes or configurations).
4. DEPARTURES to subsections (F)(1-3) will be considered provided the design meets the purpose of the standards. Supplemental consideration for approving alternative designs:
 - a. Width of the façade. The larger the façade, the more substantial articulation/modulation features need to be.
 - b. Block frontage designation. Storefront designated block frontages warrant the most scrutiny while undesignated streets warrant more flexibility.
 - c. The type of articulation treatment and how effective it is in meeting the purpose given the building's context.

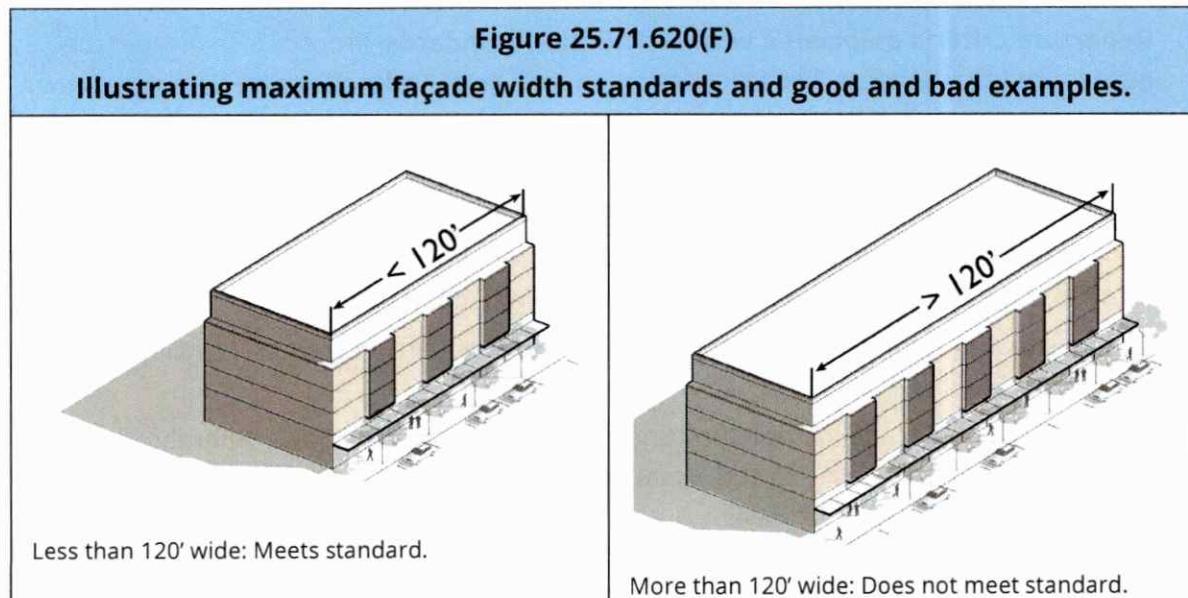
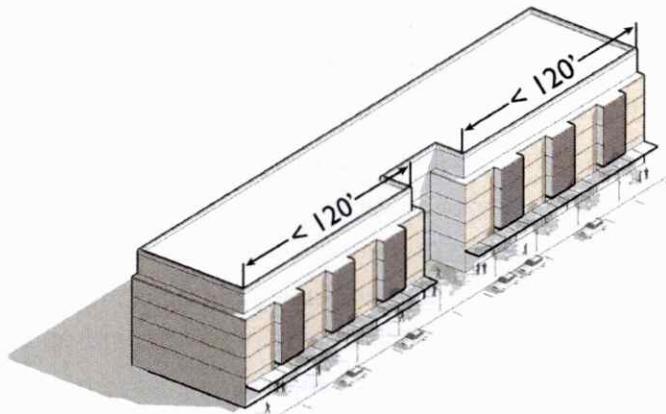


Figure 25.71.620(F)
Illustrating maximum façade width standards and good and bad examples.



Building incorporates a courtyard along the façade (technique #1 noted above) to effectively break it up into smaller components: Meets standard.



The left building uses technique # 1 (vertical building modulation at least six-feet deep and 15-feet wide). The right building uses technique #2 (contrasting vertical modulated design component). Both examples are effective in breaking up the perceived scale of the building and adding visual interest.

25.71.630 - Building details.

A. Purpose. This section contains standards that affect the human experience of architecture at the ground level and the quality of windows. The purpose of this section is:

1. To encourage the incorporation of design details and small-scale elements into building façades that are attractive at a pedestrian scale.
2. To integrate window design that adds depth, richness, and visual interest to the façade.
3. To create clear and welcoming building entries.

B. Applicability. This section applies to street-facing building façades and other building facades facing parks and containing primary building entrances.

C. Façade details – nonresidential and mixed-use buildings. The ground floor of commercial and mixed-use buildings shall be enhanced with appropriate details.

1. This standard applies to building façades and building elevations facing parks and containing primary building entrances.
2. All new buildings shall employ at least one detail element from each of the three categories in subsection (D) for each façade articulation interval (see DMC 25.71.330).

For example, a building with 120 feet of street frontage with a façade articulated at 40 feet intervals will need to meet the standards for each of the three façade segments below.

D. Façade detail categories.

1. Window and/or entry treatment:

- a. Display windows divided into a grid of multiple panes.
- b. Transom windows.
- c. Roll-up windows/doors.
- d. Other distinctive window treatment that meets the purpose of the standards.
- e. Recessed entry.
- f. Decorative door.
- g. Other decorative or specially designed entry treatment that meets the purpose of the standards.

Figure 25.71.630(D)(1)

Examples of decorative or specially designed windows and entries.



Figure 25.71.630(D)(1)

Examples of decorative or specially designed windows and entries.



Examples of decorative or specially designed windows and entries. A = openable storefront window. B = transom windows. C = openable window with decorative details. D = decorative window shades. E = decorative door. F = recessed entry.

2. Building element, façade attachment, or façade detail:

- Custom-designed weather protection element such as a steel canopy, cloth awning, or retractable awning.
- Decorative building-mounted light fixtures.
- Bay windows, trellises, towers, and similar elements.
- Decorative, custom hanging sign(s) (option only available for building remodels).
- Other details or elements that meet the purpose of these standards.

Figure 25.71.630(D)(2)

Examples of decorative or specially designed windows and entries.



Figure 25.71.630(D)(2)

Examples of decorative or specially designed windows and entries.



3. Decorative material and artistic elements:

- a. Decorative building materials/use of building materials. Examples include, but are not limited to, decorative use of brick, tile, or stonework.
- b. Artwork on building, such as a mural or bas-relief sculpture.
- c. Decorative kick-plate, pilaster, base panel, or other similar feature.
- d. Hand-crafted material, such as special wrought iron or carved wood.
- e. Other details that meet the purpose of the standards.

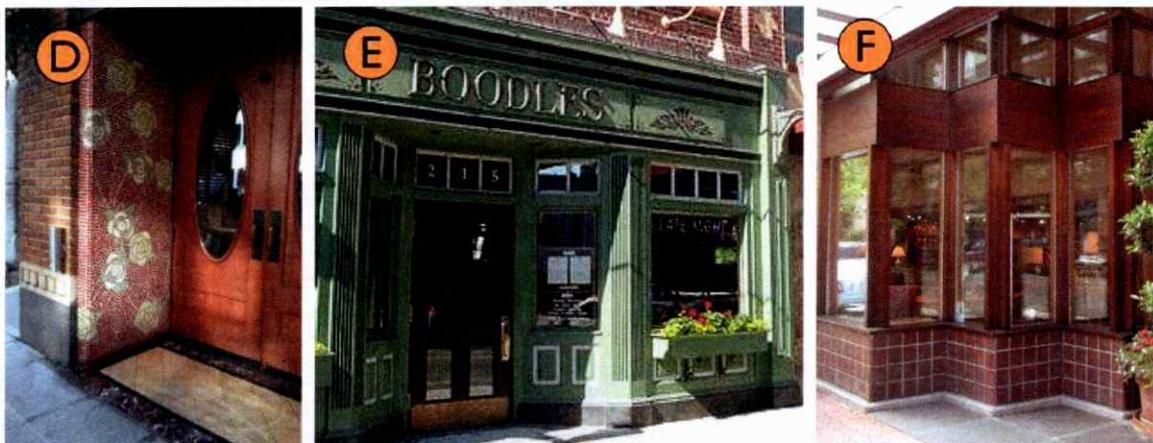
DEPARTURES will be considered, provided the façade (at the overall scale and at the individual articulation scale) meets the purpose of the standards above.

Figure 25.71.630(D)(3)

Examples of decorative surface materials.



Figure 25.71.630(D)(3)
Examples of decorative surface materials.



Examples of decorative surface materials. A = decorative brick/design. B = decorative tile-work and column pattern. C = decorative medallion. D = decorative mosaic tile work. E = decorative bulkhead. F = decorative materials and design.

E. Window design standards.

1. All windows (except storefront display windows) shall employ designs that add depth and richness to the façade. At least one of the following features shall be included to meet this requirement:
 - (a) Recess windows at least 1.5 inches from the façade.
 - (b) Incorporate window trim (at least three inches wide) around windows.
 - (c) Incorporate other design treatments that add depth, richness, and visual interest to the façade.

DEPARTURES from the window standards above will be considered, provided the design meets the purpose of the standards.

Figure 25.71.630(E)

Acceptable and unacceptable window design examples.



The windows in Building A is recessed by at least 1.5" from the façade. Building B features trim at least 3" wide. Building C windows may not meet the full 1.5" recess, but the detailing add a sense of depth and richness to the façade. Building D is not recessed, does not feature trim, and does not include any detailing.

2. Standards for specialty glass and treatments:
 - a. Ground floor windows on all buildings may not use glass that is highly reflective, mirrored, darkly-tinted, frosted, perforated, or otherwise treated to obscure visibility into the building.
 - b. On upper floors, highly reflective and mirrored glass shall not be used on more than ten percent of a building façade or other building elevations facing parks and containing primary building entrances.

F. Cornice/roofline design for flat roofs. Nonresidential and mixed-use buildings employing a flat roof shall employ a distinctive roofline that effectively provides an identifiable "top" to the building, including one of the following [Figure 25.71.630(F) below illustrates examples]:

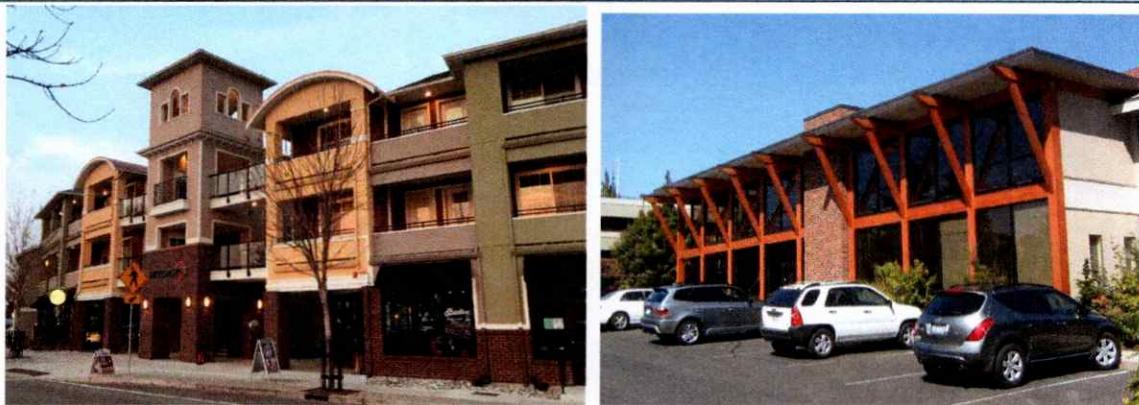
1. A traditional cornice line or a contemporary interpretation of a traditional cornice line. Such rooflines shall be proportional to the size and scale of the building.
2. Understated cornice lines are permitted depending on the materials and design of the base and middle elements in reinforcing the base/middle/top configuration.

Rooftop solar units are permitted, provided the placement and design of units visible from the surrounding streetscape are carefully integrated into the overall design concept of the building.

DEPARTURE: Alternative roofline designs may be acceptable, provided the building design, collectively, meets the purpose of the standards. For example, additional articulation treatments and/or detailing may help the building meet the departure criteria.

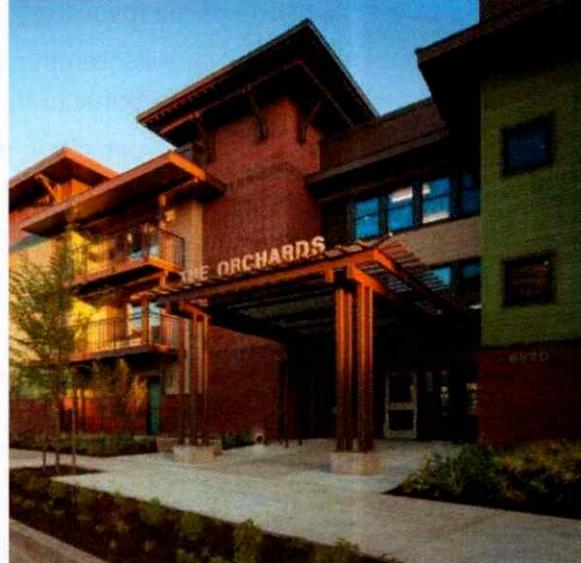
Figure 25.71.630(F)

Examples of buildings employing confident and distinctive rooflines.



G. Articulated building entries. The primary building entrance for an office building, hotel, multifamily building (when provided), public or community-based facility or other multi-story commercial building shall be designed as a clearly defined and demarcated standout architectural feature of the building. Such entrances shall be easily distinguishable from regular storefront entrances on the building and shall be scaled proportional to the building. See Figure 25.71.630(G) below for good examples.

Figure 25.71.630(G)
Building entry examples.



25.71.640 – Building materials.

A. Purpose.

1. To encourage the use of durable, high quality, and urban building materials that minimize maintenance cost and provide visual interest from all observable vantage points.
2. To promote the use of a distinctive mix of materials that helps to articulate façades and lends a sense of depth and richness to the buildings.
3. To place the highest priority on the first floor in the quality and detailing of materials at the pedestrian scale.

B. Wildland-Urban Interface standards. Old Fort Lake Subarea is within defined Wildland-Urban Interface (WUI) areas and are thus subject to special building materials standards for such areas. Where these building materials standards conflict with applicable Wildland-Urban Interface standards, the Wildland-Urban Interface standards apply.

C. Quality building materials.

1. Applicants shall use high quality durable materials. This is most important for the base of buildings, particularly for commercial and mixed-use buildings where the façade is sited close to sidewalks.
2. Prohibited exterior building materials:
 - a. Fiberglass.
 - b. Vinyl and plastic siding.
 - c. Plywood.
 - d. T-111 siding.
 - e. Exterior insulation and finish system (EIFS).
3. The use of sustainably harvested, salvaged, recycled, or reused products is encouraged wherever possible.

D. Special conditions and limitations for concrete block (also known as concrete masonry unit or CMU). Concrete block may be used as a cladding material for single story non-residential buildings or on the ground floor of any multi-story building provided it is incorporated with other permitted materials and/or incorporates a combination of textures and/or colors to add visual interest. For example, combining split or rock-façade units with smooth blocks can create distinctive patterns. The figure below illustrates acceptable concrete block use/designs.

DEPARTURES will be considered, provided the material's integration and overall façade composition meets the purpose of the standards.

Figure 25.71.640(D)
Acceptable concrete block use and design.



Building A uses alternating rows of concrete block and brick as an effective and contrasting accent material for its podium structure. Building B uses CMU as the primary cladding material for the ground level. Note the use of split-façade CMU's above each of the awnings and coupled with the use of smooth-façade CMU's on the vertical columns (which employ black accent tiles for added interest).

E. Special conditions and limitations for metal siding. Metal siding may be used as a secondary cladding material (no more than 35 percent of the cladding for the façade and no more than 50 percent for other buildings elevations) if it is incorporated with other permitted materials and complies with the following standards:

1. Metal siding shall not extend lower than two feet above grade. Masonry, concrete, or other durable material shall be incorporated between the metal siding and the ground plane.
2. Metal siding shall be factory finished with a matte, nonreflective surface.
3. Metal siding shall feature visible corner molding and trim
4. Use of at least two colors of metal siding on the façade is encouraged but not required.

DEPARTURES will be considered, provided the material's integration and overall façade composition meets the purpose of the standards.

Figure 25.71.640(E)
Acceptable metal siding examples.



The buildings in Image A and B integrate a range of metal siding with masonry and other materials.

F. Special conditions and limitations for cementitious wall board paneling/siding. Such material may be used, provided it meets the following provisions:

1. No more than 30 percent of the façade's cladding and 40 percent of other building elevations cladding may be one texture and color of cement board.
2. Cement board paneling/siding may not be used on the ground floor of nonresidential or mixed-use buildings where adjacent to a sidewalk or other internal walkway.
3. Where cement board paneling/siding is used, the design shall integrate a mix of colors and/or textures that are articulated consistent with windows, balconies, and modulated building surfaces and are balanced with façade details that add visual interest from the ground level and adjacent buildings.

DEPARTURES will be considered, provided the material's integration and overall façade composition meets the purpose of the standards.

Figure 25.71.640(F)
Acceptable and unacceptable cementitious wall board examples.



The building on the left uses cement board in different textures and colors to help articulate the façade. The white color replicates the board and batten style in the left image and green color in the right image effectively replicates horizontal wood siding. The wall board panels covering a large area in a single color as in right image would not meet the purpose of the standards.

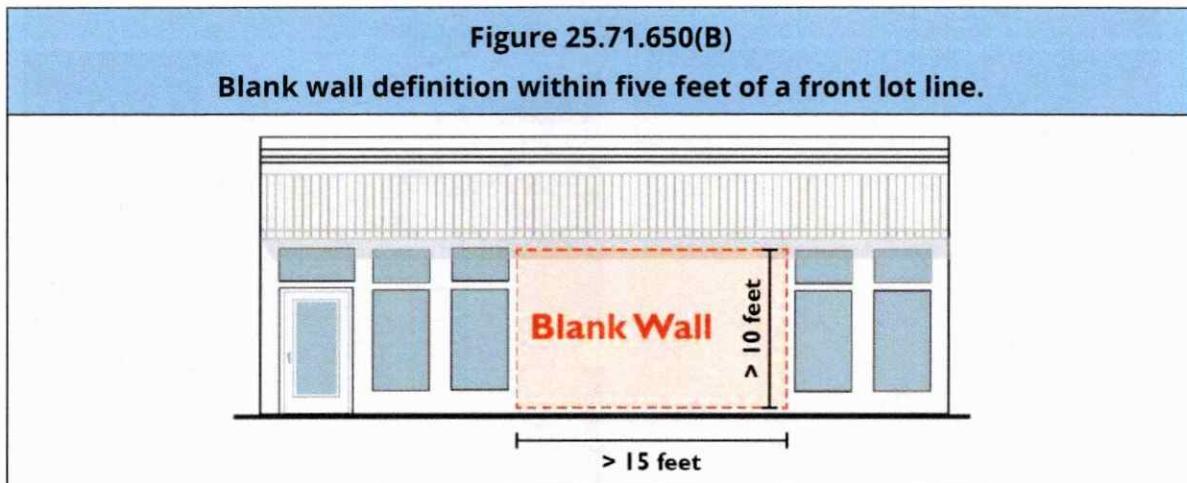
25.71.650 – Blank wall treatment.

A. Purpose.

1. To avoid untreated blank walls.
2. To retain and enhance the character of Old Fort Lake's streetscapes.

B. Blank wall definition. A ground floor wall (including building façades and retaining walls) is considered a blank wall if it does not include a transparent window or door, it is over ten feet in height, and it has a horizontal length greater than:

1. 15 feet (when the wall is located less than five feet from the front lot line).
2. 20 feet (when the wall is located five to ten feet from the front lot line).
3. 25 feet (when the wall is located more than ten feet from the front lot line).



C. Blank wall treatment options. Untreated blank walls visible from a street, public space, ground-level residential amenity space, or internal walkway are prohibited. Methods to treat blank walls include the following (a variety of treatments may be required to meet the purpose of the standards):

1. Display windows at least 16 inches of depth to allow for changeable displays. Tack on display cases do not qualify as a blank wall treatment.
2. Landscape planting bed at least five feet wide or a raised planter bed at least two feet high and three feet wide in front of the wall with planting materials that are sufficient to obscure or screen at least 60 percent of the wall's surface within three years.
3. Installing a vertical trellis or "green wall" in front of the wall with climbing vines or plant materials. The method shall be sufficient to obscure or screen at least 60 percent of the wall surface within three years. This option requires an irrigation and maintenance plan sufficient to maintain healthy plants for the life of the building.
4. Installing a non-commercial mural or other permanent art feature, such as metal work or mosaics, subject to final approval by the director.
5. Building detailing that adds visual interest at a pedestrian scale such as belt courses of masonry, decorative tile work, or accent lighting. Such detailing shall use a variety of surfaces; monotonous designs will not meet the purpose of the standards.

Figure 25.71.650(C)
Blank wall treatment examples.



Image A uses an artistic mural; Image B uses a landscape planting bed; Image C uses a trellis with a vine plant; Image D uses an elevated planting bed and a trellis.